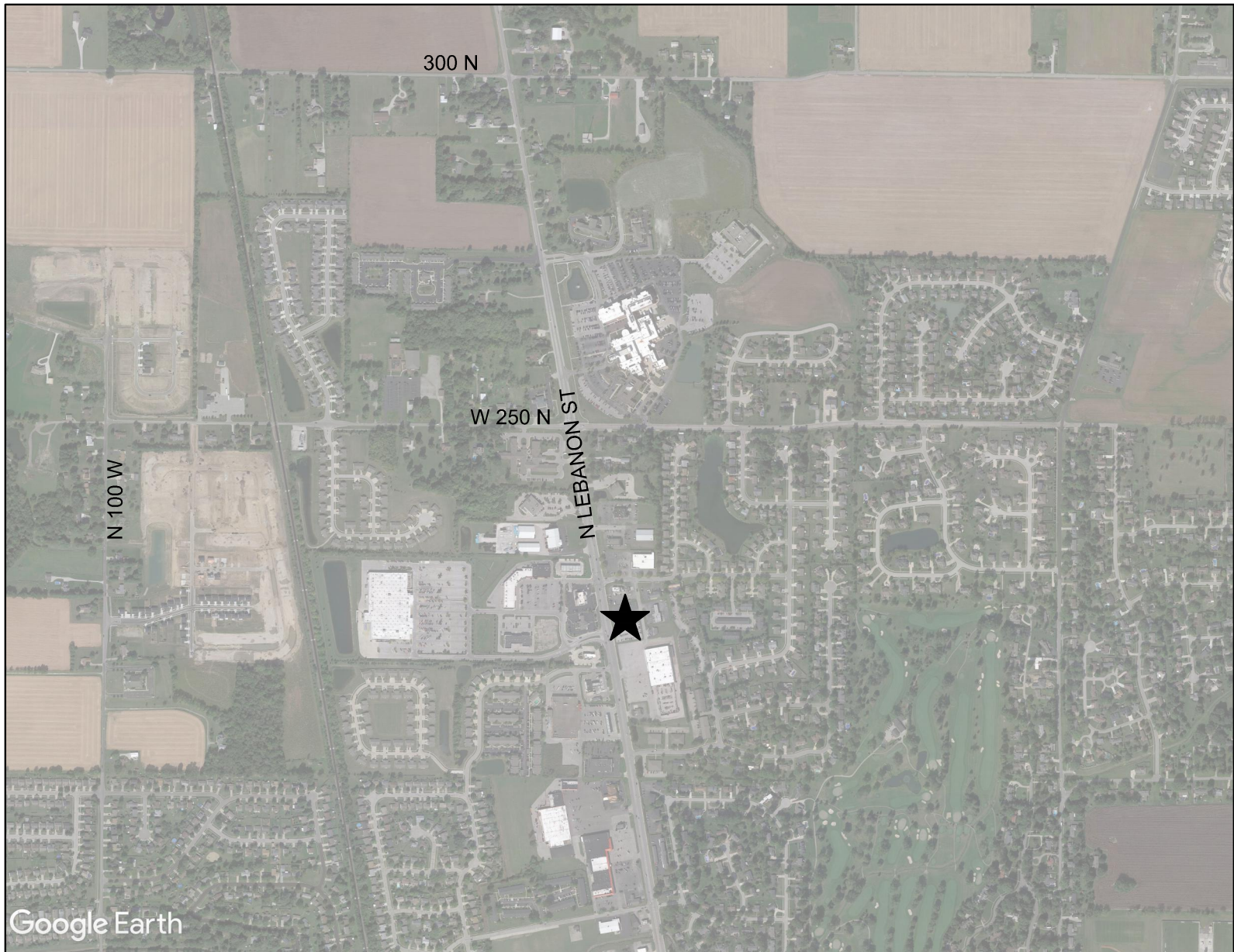
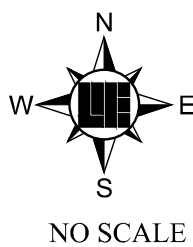


CONSTRUCTION PLANS FOR  
TACO BELL  
-2437 N LEBANON STREET  
LEBANON, IN



PLANS PREPARED FOR  
TMG CONSTRUCTION MANAGEMENT  
15420 ENDEAVOR DR  
NOBLESVILLE, INDIANA 46060  
TELEPHONE: (317) 219-0406  
FAX: (317) 282-0653  
CONTACT PERSON: MIKE GOINS  
EMAIL: MGOINS@TMGCM.COM

PLANS PREPARED BY  
WEIHE ENGINEERS, INC.  
10505 N. COLLEGE AVE.  
INDIANAPOLIS, INDIANA 46280  
TELEPHONE: (317) 846-6611  
FAX: (317) 843-0546  
CONTACT PERSON: BILL TERRY  
EMAIL: BILLT@WEIHE.NET



★ PROJECT LOCATION  
LOCATION MAP

Sheet List Table	
Sheet Number	Sheet Title
C0	TITLE SHEET
C1	SURVEY
C1.1	SURVEY
C1.2	SURVEY
C2	SWPPP1 PLAN - DEMO PLAN
C2.1	SWPPP2 PLAN
C2.2	SWPPP DETAILS
C3	SITE PLAN
C3.1	SITE DETAILS
C4	GENERAL GRADING PLAN
C4.1	TACO BELL DETAIL GRADING PLAN
C4.2	DRIVEWAY DETAIL GRADING PLAN
C5	UTILITY PLAN
C5.1	UTILITY DETAILS
C6	LANDSCAPE PLAN
C6.1	LANDSCAPE DETAILS
C7	LIGHTING PLAN

GENERAL NOTES

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING, OR VERIFYING THAT ALL PERMITS AND APPROVALS ARE OBTAINED FROM THE RESPECTIVE CITY, COUNTY, AND STATE AGENCIES PRIOR TO STARTING CONSTRUCTION.
2. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES IN THE VICINITY OF THE CONSTRUCTION AREA PRIOR TO STARTING CONSTRUCTION
3. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO NOTIFY AND COORDINATE CONSTRUCTION WITH ALL RESPECTIVE UTILITIES
4. ALL QUANTITIES GIVEN ON THESE PRINTS, VERBALLY OR IN THE SCOPE OF WORK SECTION ARE ESTIMATES AND SHALL BE CONFIRMED BY THE BIDDING CONTRACTORS.
5. OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) STANDARDS FOR EXCAVATIONS; FINAL RULE 29 CFR PART 1926, SUBPART PP APPLIES TO ALL EXCAVATIONS EXCEEDING FIVE (5) FEET IN DEPTH.
6. IN ADDITION, EXCAVATION EXCEEDING TWENTY (20) FEET IN DEPTH REQUIRES THE DESIGN OF A TRENCH SAFETY SYSTEM BY A REGISTERED PROFESSIONAL ENGINEER.
7. IT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER AND CONTRACTOR TO MAINTAIN QUALITY CONTROL THROUGHOUT THIS PROJECT.
8. TEMPORARY TRAFFIC CONTROL DURING CONSTRUCTION TO CONFORM TO APPLICABLE LOCAL STANDARDS.
9. THE ENGINEER AND/OR OWNER DISCLAIM ANY ROLE IN THE CONSTRUCTION MEANS AND METHODS ASSOCIATED WITH THE PROJECT AS SET FORTH IN THESE PLANS.
10. ANY FIELD TILES ENCOUNTERED DURING EXCAVATION SHALL BE REPAIRED AND CONNECTED TO NEW STORM SEWERS AND POSITIVE DRAINAGE PRESERVED.
11. IT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER THAT ALL LANDSCAPE REQUIREMENTS ARE MET AND CONFORM TO APPLICABLE LOCAL STANDARDS.
12. THE SITE DOES NOT LIE IN A SPECIAL FLOOD HAZARD AREA AS ESTABLISHED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY - NATIONAL FLOOD INSURANCE PROGRAM, WHEN PLOTTED BY SCALE ON FLOOD INSURANCE RATE MAP #18107C0134C DATED FEBRUARY 2, 2012.
13. BEARINGS, DIMENSIONS AND EASEMENTS ARE SHOWN FOR REFERENCE ONLY. SEE RECORD SURVEYS & PLAT FOR EXACT INFORMATION.
14. THIS SITE DOES NOT CONTAIN ANY WETLANDS AS SHOWN ON THE U.S. DEPARTMENT OF THE INTERIOR FISH AND WILDLIFE SERVICE.

LAND DESCRIPTION

REFER TO THE ALTA AND PLAT

OPERATING AUTHORITIES

GAS UTILITY  
CENTERPOINT ENERGY (NORTH)  
800-227-1376

ELECTRIC, WASTEWATER & WATER UTILITY  
401 S MERIDIAN ST  
LEBANON, IN 46052  
765.482.5100

ZONING & PLANNING  
401 S MERIDIAN ST  
LEBANON, IN 46052  
765.482.8845  
BENJAMIN BONTRAGER

ENGINEERING  
401 S MERIDIAN ST  
LEBANON, IN 46052  
765.482.8845  
KEVIN KRULIK

MS4 SWPPP  
401 S MERIDIAN ST  
LEBANON, IN 46052  
765.482.8845  
SCOTT CALVERT

BENCHMARK INFORMATION

**PROJECT BM**  
2.4 MILES NORTH ALONG STATE HIGHWAY 39 FROM THE COURTHOUSE ATLEBANON, 0.1 MILE SOUTH OF AN EAST-WEST CROSS ROAD, AT THE DRIVEWAY LEADING TO THE CLINT PERKINS FARMHOUSE, 52 FEET EAST OF THE CENTERLINE OF THE HIGHWAY, 14 FEET NORTHEAST OF THE NORTH HEADWALL OF THE PERKINS DRIVE, AND NEAR A WHITE WOODEN WITNESS POST. A STANDARD DISK, STAMPED D 114 RESET 1853 AND SET IN THE TOP OF A CONCRETE POST PROJECTING 1 FOOT ABOVE GROUND.  
ELEV. 936.7' (NAVD 88) (PUBLISHED)  
ELEV. 936.58' (NAVD 88) (MEASURED)

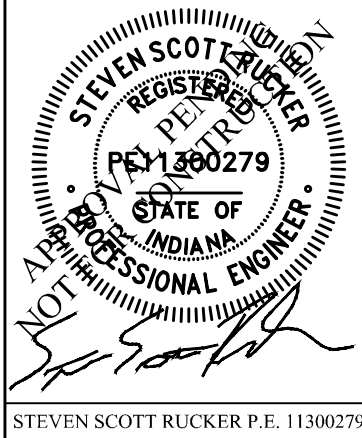
**SITE TBMS**  
TBM 1  
CUT SQUARE IN SOUTHEAST CORNER OF CONCRETE BASE OF TRAFFIC STRAIN POLE ON WEST SIDE OF THE SURVEYED PARCEL  
ELEV. 943.31' (NAVD 88)

TBM 2  
CUT X IN WEST BONNET BOLT OF FIRE HYDRANT EAST OF THE SURVEYED PARCEL  
ELEV. 945.90' (NAVD 88)



REVISIONS AND ISSUES	
DATE	BY

PROJECT NO.: W22.0092	DWG NAME: W22.0092.C0 Title
DESIGNED BY: JM	DRAWN BY: JM
CHECKED BY: BT	DATE: 03-07-2022



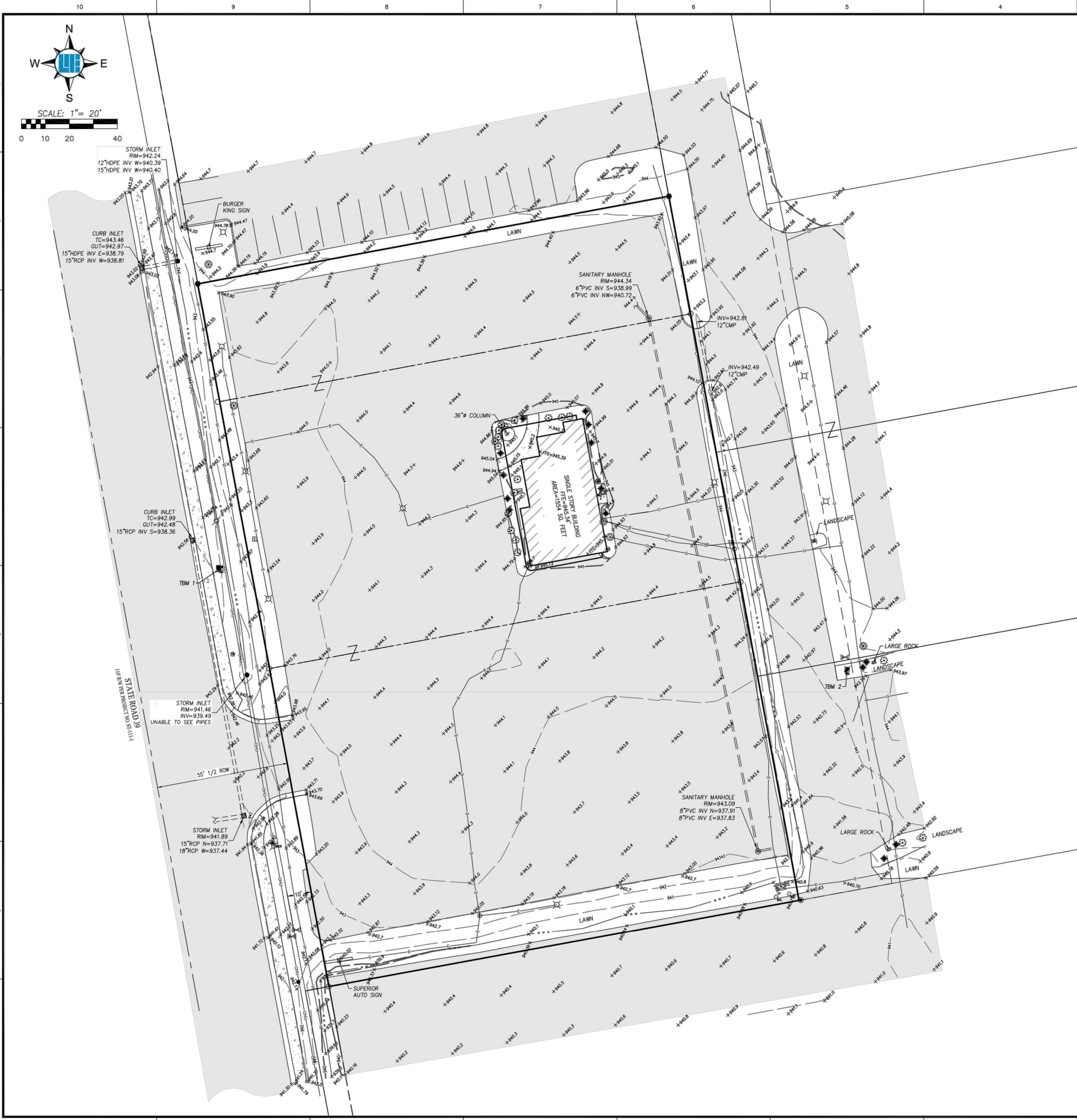
STEVEN SCOTT RUCKER P.E. 13300279

PREPARED FOR: <b>PROPOSED TACO BELL</b> - 2437 N LEBANON STREET, LEBANON, INDIANA	
SHEET NO. <b>C0</b>	
PROJECT NO. W22.0092	

TITLE SHEET  
SECTION 24, TOWNSHIP 19 NORTH, RANGE 1 WEST, CENTER TOWNSHIP, BOONE COUNTY, INDIANA.



LOCATION: 14-2020-M20002-Surveyed-M20002v ALTA.dwg  
DATE/TIME: 6/27/2022 2:02:58 PM  
PLOTTER: B1: Room 310m



THE HORIZONTAL AND VERTICAL LOCATION DATA SHOWN ON THIS SURVEY ARE BASED UPON POSITIONAL SOLUTIONS DERIVED FROM REAL-TIME KINEMATIC (RTK) GLOBAL POSITIONING SYSTEM (GPS) OBSERVATIONS PROCESSED BY THE INDIANA DEPARTMENT OF TRANSPORTATION (INDOT) CONTINUOUSLY OPERATING REFERENCE STATIONS (CORS). THE BEARINGS SHOWN ARE DERIVED FROM COORDINATES BASED ON THE INDIANA STATE PLANE COORDINATE SYSTEM (WEST ZONE) NAD 83 (2011) EPOCH 2010.0. THE VERTICAL DATUM IS BASED UPON NAVD 88.

**LEGEND**

- REBAR FOUND
- 5/8" Ø REBAR WITH YELLOW PLASTIC CAP STAMPED "WEIHE ENGR. 0012" SET
- HARRISON MONUMENT FOUND
- PK OR MAG NAIL FOUND
- MAG NAIL WITH WASHER STAMPED "WEIHE ENGR. 0012" SET
- BENCH MARK
- TEMPORARY BENCH MARK
- WATER VALVE
- FIRE HYDRANT
- WATER METER
- SPIGOT
- GAS METER
- UTILITY POLE
- GUY ANCHOR
- TRANSFORMER
- ELECTRICAL RISER
- ELECTRIC JUNCTION BOX
- ELECTRIC METER
- STREET LIGHT
- COMMUNICATIONS PEDESTAL
- CABLE TELEVISION PEDESTAL
- TRAFFIC CONTROL HAND HOLE
- TRAFFIC SIGNAL POLE
- CURB INLET
- BEEHIVE INLET
- SQUARE INLET
- ROUND INLET
- DOWN SPOUT
- SANITARY SEWER MANHOLE
- CLEANOUT (OTHER OR UNIDENTIFIED)
- SIGN
- POST
- FLAG POLE
- MAIL BOX
- BOLLARD
- GATE POST
- AIR CONDITIONER

(M) MEASURED DIMENSION  
(R) RECORD DIMENSION  
(C) CALCULATED DIMENSION  
BCSO BOONE COUNTY SURVEYOR'S OFFICE  
INDOT INDIANA DEPARTMENT OF TRANSPORTATION  
AG ABOVE GROUND  
BG BELOW GROUND  
ROW RIGHT OF WAY  
CMP CORRUGATED METAL PIPE  
RCP REINFORCED CONCRETE PIPE  
PVC POLYVINYL CHLORIDE PIPE  
HDPE HIGH DENSITY POLYETHYLENE PIPE  
FFE FINISH FLOOR ELEVATION  
INV INVERT  
BSL BUILDING SETBACK LINE  
SPOT ELEVATION (GROUND)  
SPOT ELEVATION (HARD SURFACE)  
DECIDUOUS BUSH  
CONIFEROUS BUSH

ASPHALT  
CONCRETE (CONC)  
STONE

**LINE TYPES**

- UNDERGROUND GAS
- UNDERGROUND WATER
- UNDERGROUND ELECTRIC
- UNDERGROUND COMMUNICATIONS
- MIXED OR UNIDENTIFIED OVERHEAD UTILITY
- SANITARY SEWER
- STORM SEWER
- RIGHT OF WAY LINE
- BUILDING SETBACK LINE
- BOUNDARY LINE
- FLOW LINE
- SECTION LINE
- INDEX CONTOUR
- INTERMEDIATE CONTOUR

**PROJECT BM**  
2.4 MILES NORTH ALONG STATE HIGHWAY 38 FROM THE COURTHOUSE ATLEBANON, 0.1 MILE SOUTH OF AN EAST-WEST CROSS ROAD, AT THE DRIVEWAY LEADING TO THE CLINT PERKINS FARMHOUSE, 32 FEET EAST OF THE CENTERLINE OF THE HIGHWAY, 14 FEET NORTHEAST OF THE NORTH HEADWALL OF THE PERKINS DRIVE, AND NEAR A WHITE WOODEN WITNESS POST. A STANDARD DISK, STAMPED D 114 RESET 1953 AND SET IN THE TOP OF A CONCRETE POST PROJECTING 1 FOOT ABOVE GROUND.  
ELEV. 936.7 (NAVD 88) (PUBLISHED)  
ELEV. 936.58' (NAVD 88) (MEASURED)

**SITE TBMS**  
TBM 1  
CUT SQUARE IN SOUTHEAST CORNER OF CONCRETE BASE OF TRAFFIC STRAIN POLE ON WEST SIDE OF THE SURVEYED PARCEL.  
ELEV. 943.31' (NAVD 88)  
TBM 2  
CUT X IN WEST BONNET BOLT OF FIRE HYDRANT EAST OF THE SURVEYED PARCEL.  
ELEV. 945.90' (NAVD 88)



10505 N. College Avenue  
Indianapolis, Indiana 46280  
weihe.net  
317 | 846 - 6611  
800 | 452 - 6408  
317 | 843 - 0546 fax  
ALLAN H. WEIHE, P.E., L.S. - FOUNDER

**WEIHE ENGINEERS**  
Land Surveying | Civil Engineering  
Landscape Architecture  
*Build with confidence.*

PROJECT NO.	DATE	BY	DATE	REVISIONS
W220092	05/12/22	KLS		
DRAWN BY:	DATE:	CHECKED BY:	DATE:	
W220092	05/12/22	KLS	05/24/22	

PREPARED FOR: **TACO BELL**  
- 2437 N LEBANON STREET, LEBANON, INDIANA  
ALTA/SPS LAND TITLE SURVEY WITH TOPOGRAPHY  
SECTION 24, TOWNSHIP 19 NORTH, RANGE 1 WEST, CENTER TOWNSHIP, BOONE COUNTY, INDIANA.  
SHEET NO. **C1.1**  
PROJECT NO. **W220092**  
© 2021 WEIHE ENGINEERS, INC.

LOCATION: 142020 W220092 Sample W220092w ALA.jpg  
DATE/TIME: 1/27/2022 10:23:39 PM  
PLOTTER: BT Kern Solum

TO: TMG CONSTRUCTION MANAGEMENT

THE PURPOSE OF THIS SURVEY IS TO RETRACE THE DEED LINES OF THE SURVEYED PROPERTY ON THE GROUND AND TO REPORT THE AVAILABILITY AND CONDITION OF REFERENCE MONUMENTS; CLARITY AND/OR AMBIGUITY OF THE RECORD DESCRIPTION(S) AS WELL AS THE DESCRIPTIONS OF ADJOINING LANDS AND THEIR RELATIONSHIPS TO OCCUPATION OR POSSESSION LINES. THIS SURVEY WILL ALSO MEET THE MINIMUM STANDARD REQUIREMENTS FOR AN ALTAINSPS LAND TITLE SURVEY (EFFECTIVE FEBRUARY 23, 2021) AS WELL AS THE MINIMUM STANDARDS OF PRACTICE FOR LAND SURVEYS IN INDIANA PER 865 IAC 12.1.

CURRENT OWNER OF RECORD: WARRANTY DEED - TRACT 1  
S & S SERVICE, LLC  
INSTRUMENT NO. 0209913

CORPORATE WARRANTY DEED - TRACT 2  
S & S SERVICE, LLC  
INSTRUMENT NO. 0510321

DESCRIPTION (PER TITLE COMMITMENT)

TRACT I:  
A PART OF THE SOUTHEAST QUARTER OF SECTION 24, TOWNSHIP 19 NORTH, RANGE 1 WEST OF THE SECOND PRINCIPAL MERIDIAN IN CENTER TOWNSHIP, BOONE COUNTY, INDIANA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT A REBAR AT THE SOUTHEAST CORNER OF SAID QUARTER SECTION; THENCE NORTH 89 DEGREES 33 MINUTES 48 SECONDS WEST ON AND ALONG THE SOUTH LINE OF SAID QUARTER SECTION 1,327.96 FEET; TO THE RECORD POSITION OF AN OLD RIGHT-OF-WAY OF STATE ROAD 39; THENCE NORTH 10 DEGREES 04 MINUTES 09 SECONDS WEST ON AND ALONG SAID OLD RIGHT-OF-WAY 310.94 FEET TO THE POINT OF CURVATURE OF A CURVE CONCAVE WEST, HAVING A CENTRAL ANGLE OF 00 DEGREES 18 MINUTES 54 SECONDS AND A RADIUS OF 171,887.3 FEET; THENCE NORTHWESTERLY ON AND ALONG SAID OLD RIGHT-OF-WAY AND CURVE AN ARC DISTANCE OF 832.00 FEET (SAID ARC BEING SUBTENDED BY A CHORD HAVING A BEARING OF NORTH 10 DEGREES 12 MINUTES 28 SECONDS WEST AND A LENGTH OF 832.00 FEET) TO THE POINT OF BEGINNING OF THIS DESCRIPTION; THENCE CONTINUING NORTHWESTERLY ON AND ALONG SAID OLD RIGHT-OF-WAY AND CURVE CONCAVE SOUTHWEST, HAVING A CENTRAL ANGLE OF 00 DEGREES 02 MINUTES 09 SECONDS AND A RADIUS OF 171,887.3 FEET, AN ARC DISTANCE OF 113.14 FEET (SAID ARC BEING SUBTENDED BY A CHORD HAVING A BEARING OF NORTH 10 DEGREES 21 MINUTES 54 SECONDS WEST A LENGTH OF 113.14 FEET); THENCE NORTH 79 DEGREES 35 MINUTES 57 SECONDS EAST 249.96 FEET; THENCE SOUTH 10 DEGREES 24 MINUTES 03 SECONDS EAST 113.76 FEET; THENCE SOUTH 79 DEGREES 44 MINUTES 28 SECONDS WEST 250.03 FEET TO THE POINT OF BEGINNING AND CONTAINING 0.65 ACRES, MORE OR LESS.

ALSO:  
A PART OF THE SOUTHEAST QUARTER OF SECTION 24, TOWNSHIP 19 NORTH, RANGE 1 WEST OF THE SECOND PRINCIPAL MERIDIAN IN CENTER TOWNSHIP, BOONE COUNTY, INDIANA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

A STRIP OF GROUND FIFTY (50) FEET IN WIDTH BY PARALLEL LINES OFF THE ENTIRE SOUTH SIDE OF THE FOLLOWING DESCRIBED REAL ESTATE:

COMMENCING AT A REBAR AT THE SOUTHEAST CORNER OF THE SOUTHEAST QUARTER OF SECTION 24, TOWNSHIP 19 NORTH, RANGE 1 WEST; THENCE NORTH 89 DEGREES 33 MINUTES 48 SECONDS WEST ALONG THE SOUTH LINE OF SAID QUARTER SECTION 1,327.96 FEET TO THE RECORD POSITION OF AN OLD RIGHT-OF-WAY OF STATE ROAD 39; THENCE NORTH 10 DEGREES 04 MINUTES 09 SECONDS WEST ALONG SAID OLD RIGHT-OF-WAY 310.94 FEET TO THE POINT OF CURVATURE OF A CURVE CONCAVE WEST, HAVING A CENTRAL ANGLE OF 00 DEGREES 18 MINUTES 54 SECONDS AND A RADIUS OF 171,887.3 FEET; THENCE NORTHWESTERLY ALONG SAID OLD RIGHT-OF-WAY AND CURVE AN ARC DISTANCE OF 832.00 FEET (SAID ARC BEING SUBTENDED BY A CHORD HAVING A BEARING OF NORTH 10 DEGREES 12 MINUTES 28 SECONDS WEST AND A LENGTH OF 832.00 FEET); THENCE NORTHWESTERLY ALONG SAID OLD RIGHT-OF-WAY AND CURVE AN ARC DISTANCE OF 832.00 FEET (SAID ARC BEING SUBTENDED BY A CHORD HAVING A BEARING OF NORTH 10 DEGREES 12 MINUTES 28 SECONDS WEST AND A LENGTH OF 832.00 FEET) TO THE POINT OF BEGINNING OF THIS DESCRIPTION; THENCE CONTINUING NORTHWESTERLY ALONG SAID OLD RIGHT-OF-WAY AND CURVE CONCAVE SOUTHWEST HAVING A CENTRAL ANGLE OF 0 DEGREES 02 MINUTES 09 SECONDS AND A RADIUS OF 171,887.3 FEET, AN ARC DISTANCE OF 113.00 FEET (SAID ARC BEING SUBTENDED BY A CHORD HAVING A BEARING OF NORTH 10 DEGREES 19 MINUTES 18 SECONDS WEST AND A LENGTH OF 135.00 FEET); THENCE NORTH 79 DEGREES 44 MINUTES 28 SECONDS EAST 250.03 FEET; THENCE SOUTH 10 DEGREES 24 MINUTES 03 SECONDS EAST 135.00 FEET; THENCE SOUTH 79 DEGREES 44 MINUTES 28 SECONDS WEST 250.22 FEET TO THE POINT OF BEGINNING, CONTAINING 0.775 ACRES, MORE OR LESS. EXCEPT THAT PART OF THE FOLLOWING DESCRIPTION THAT LIES WITHIN THE ABOVE DESCRIBED REAL ESTATE:

TO-WIT: A PART OF THE SOUTHEAST QUARTER OF SECTION 24, TOWNSHIP 19 NORTH, RANGE 1 WEST, BOONE COUNTY, INDIANA, DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHEAST CORNER OF SAID SECTION; THENCE NORTH 89 DEGREES 10 MINUTES 16 SECONDS WEST (ASSUMED BEARING) 1,291.58 FEET ALONG THE SOUTH LINE OF SAID SECTION TO THE EASTERN BOUNDARY OF STATE ROAD 39; THENCE ALONG THE BOUNDARY OF SAID STATE ROAD 39 NORTHWESTERLY 856.65 FEET ALONG AN ARC TO THE LEFT AND HAVING A RADIUS OF 42,486.32 FEET AND SUBTENDED BY A CHORD HAVING A BEARING OF NORTH 10 DEGREES 11 SECONDS WEST AND A LENGTH OF 856.63 FEET; THENCE NORTH 10 DEGREES 06 MINUTES 00 SECONDS WEST 166.49 FEET ALONG SAID BOUNDARY TO THE SOUTHERN LINE OF THE OWNERS LAND AND THE POINT OF BEGINNING OF THIS DESCRIPTION; THENCE CONTINUING NORTH 10 DEGREES 06 MINUTES 00 SECONDS WEST 475.77 FEET ALONG SAID BOUNDARY TO THE NORTH LINE OF THE OWNERS LAND; THENCE SOUTH 89 DEGREES 28 MINUTES 20 SECONDS EAST 10.17 FEET ALONG SAID NORTH LINE; THENCE SOUTH 10 DEGREES 06 MINUTES 00 SECONDS EAST 473.90 FEET TO THE SOUTHERN LINE OF THE OWNERS LAND; THENCE SOUTH 10 DEGREES 06 MINUTES 00 SECONDS WEST 10.00 FEET ALONG SAID SOUTHERN LINE TO THE POINT OF BEGINNING AND CONTAINING 0.109 ACRES, MORE OR LESS.

MODERNIZED LAND DESCRIPTION

A PART OF THE SOUTHEAST QUARTER OF SECTION 24, TOWNSHIP 19 NORTH, RANGE 1 WEST, CENTER TOWNSHIP, BOONE COUNTY, LEBANON, INDIANA, MORE FULLY DESCRIBED BY: COMMENCING AT THE SOUTHEAST CORNER OF THE SOUTHEAST QUARTER OF SAID SECTION 24; THENCE NORTH 89 DEGREES 33 MINUTES 48 SECONDS WEST, ALONG THE SOUTH LINE OF THE SOUTHEAST QUARTER, A DISTANCE OF 1327.98 FEET TO THE RECORD POSITION OF AN OLD RIGHT OF WAY OF STATE ROAD 39 PRIOR RECONSTRUCTION; THENCE NORTH 10 DEGREES 04 MINUTES 09 SECONDS WEST, ALONG SAID OLD RIGHT OF WAY OF STATE ROAD 39 A DISTANCE OF 310.94 FEET TO THE POINT OF CURVATURE OF A CURVE CONCAVE TO THE WEST, HAVING A CENTRAL ANGLE OF 00 DEGREES 13 MINUTES 56 SECONDS AND A RADIUS OF 171,887.30 FEET, AN ARC DISTANCE OF 697.00 FEET (SAID ARC BEING SUBTENDED BY A CHORD HAVING A BEARING OF NORTH 10 DEGREES 11 MINUTES 09 SECONDS WEST, A LENGTH OF 697.00 FEET) TO THE POINT OF BEGINNING OF HEREIN DESCRIBED TRACT; THENCE CONTINUING NORTHWESTERLY ALONG SAID OLD RIGHT OF WAY AND CURVE CONCAVE SOUTHWEST, HAVING A CENTRAL ANGLE OF 00 DEGREES 02 MINUTES 09 SECONDS AND A RADIUS OF 171,887.30 FEET, AN ARC LENGTH OF 135.00 FEET (SAID ARC BEING SUBTENDED BY A CHORD HAVING A BEARING OF NORTH 10 DEGREES 18 SECONDS WEST AND A LENGTH OF 135.00 FEET); THENCE NORTH 79 DEGREES 44 MINUTES 28 SECONDS EAST, ALONG THE SOUTHERLY DESCRIBED LINE OF THE SCHEID AND WRAY PROPERTY AS RECORDED IN DEED RECORD 245, PAGES 50-51, A DISTANCE OF 250.03 FEET; THENCE SOUTH 10 DEGREES 24 MINUTES 03 SECONDS EAST 135.00 FEET; THENCE SOUTH 79 DEGREES 44 MINUTES 28 SECONDS WEST, ALONG THE NORTHERLY DESCRIBED LINE OF THE LEBANON 30 COMPANY PROPERTY, AS RECORDED IN DEED RECORD 208, PAGES 907-908, A DISTANCE OF 250.22 FEET TO THE POINT OF BEGINNING, CONTAINING 0.7752 OF AN ACRE. EXCEPTING THEREFROM: A PART OF THE SOUTHEAST QUARTER OF SECTION 24, TOWNSHIP 19 NORTH, RANGE 1 WEST, CENTER TOWNSHIP, BOONE COUNTY, INDIANA, BEING THAT PART OF THE STATE OF INDIANA PROPERTY AS RECORDED IN DEED RECORD 238, PAGES 500-501, AND PERTAINS TO THE SINGH FAMILY LIMITED PARTNERSHIP #3 PROPERTY, AS RECORDED IN DEED RECORD 252, PAGES 354-356, THE ENTIRE THEREOF FULLY DESCRIBED BY: COMMENCING AT THE SOUTHEAST COMER OF THE SOUTHEAST QUARTER OF SAID SECTION 24; THENCE NORTH 89 DEGREES 33 MINUTES 48 SECONDS WEST, ALONG THE SOUTH LINE OF THE SOUTHEAST QUARTER, A DISTANCE OF 1290.19 FEET TO THE EAST LINE OF THE 45 FOOT RIGHT OF WAY GRANT FOR STATE ROAD 39, AS RECORDED IN DEED RECORD 157, PAGE 196 IN THE RECORDS OF THE OFFICE OF THE RECORDER OF BOONE COUNTY, INDIANA; THENCE ALONG THE EAST DESCRIBED LINE OF SAID 45 FOOT RIGHT OF WAY GRANT FOLLOWING A CURVE TO THE LEFT, NON-TANGENT TO THE PRECEDING COURSE HAVING A RADIUS OF 42,486.32 FEET, AN ARC LENGTH OF 859.44 FEET AND A CHORD BEARING NORTH 09 DEGREES 51 MINUTES 03 SECONDS WEST A DISTANCE OF 859.44 FEET; THENCE NORTH 10 DEGREES 25 MINUTES 49 SECONDS WEST, ALONG THE EAST LINE OF SAID RIGHT OF WAY GRANT, A DISTANCE OF 155.53 FEET TO THE POINT OF BEGINNING LOCATED AT THE SOUTH LINE OF THE SINGH FAMILY LIMITED PARTNERSHIP #3 PROPERTY AS RECORDED IN DEED RECORD 252, PAGE 354-356; THENCE CONTINUING NORTH 10 DEGREES 25 MINUTES 49 SECONDS WEST, ALONG THE EAST LINE OF SAID RIGHT OF WAY GRANT, A DISTANCE OF 135.00 FEET TO A POINT LOCATED ON THE NORTH LINE OF SAID SINGH FAMILY LIMITED PARTNERSHIP #3 PROPERTY; THENCE NORTH 79 DEGREES 44 MINUTES 28 SECONDS EAST, ALONG THE NORTH DESCRIBED LINE OF SAID SINGH FAMILY LIMITED PARTNERSHIP #3 PROPERTY, A DISTANCE OF 10.00 FEET; THENCE SOUTH 10 DEGREES 25 MINUTES 49 SECONDS EAST A DISTANCE OF 135.00 FEET; THENCE SOUTH 79 DEGREES 44 MINUTES 28 SECONDS WEST, ALONG THE SOUTH DESCRIBED LINE OF SAID SINGH FAMILY PARTNERSHIP #3 PROPERTY, A DISTANCE OF 10.00 FEET TO THE POINT OF BEGINNING, CONTAINING 0.0310 OF AN ACRE.

SURVEYED LAND DESCRIPTION

PART OF THE SOUTHEAST QUARTER OF SECTION 24, TOWNSHIP 19 NORTH, RANGE 1 WEST OF THE SECOND PRINCIPAL MERIDIAN IN BOONE COUNTY, INDIANA, BEING THAT PARCEL CERTIFIED BY KAREN L. SUTTON, PS #LS21200013 ON MARCH 25, 2022 AS WEIHE ENGINEERS JOB NO. W220092, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHEAST CORNER OF SAID QUARTER SECTION, THENCE ALONG THE SOUTH LINE OF SAID QUARTER SECTION SOUTHERLY 89 DEGREES 33 MINUTES 48 SECONDS EAST 1290.34 FEET TO A POINT ON AN EAST-TANGENT CURVE TO THE LEFT HAVING A RADIUS OF 42,486.32 FEET, ALSO BEING THE EASTERN BOUNDARY OF S.R. 39 AS DESCRIBED IN DEED BOOK 157, PAGE 196 IN THE OFFICE OF THE BOONE COUNTY RECORDER; THENCE ALONG SAID BOUNDARY OF S.R. 39 THE FOLLOWING TWO (2) COURSES: 1) THENCE NORTHWESTERLY ALONG SAID CURVE 847.96 FEET, HAVING A CHORD THAT BEARS NORTH 09 DEGREES 59 MINUTES 11 SECONDS WEST 847.95 FEET; 2) THENCE NORTH 10 DEGREES 34 MINUTES 21 SECONDS WEST 166.49 FEET TO THE SOUTH LINE OF STATE OF INDIANA PROPERTY RECORDED IN DEED BOOK 238, PAGES 500-501; THENCE NORTH 79 DEGREES 26 MINUTES 16 SECONDS EAST ALONG THE SOUTH LINE OF SAID PROPERTY 10.00 FEET TO THE EAST RIGHT OF WAY OF STATE ROAD 39 AS DESCRIBED IN SAID

DEED BOOK 238, PAGES 500-501 AND IN INSTRUMENT 2020010321, ALSO BEING THE POINT OF BEGINNING; THENCE ALONG SAID RIGHT OF WAY NORTH 10 DEGREES 34 MINUTES 23 SECONDS WEST TO THE NORTH LINE OF A STRIP OF GROUND FIFTY (50) FEET IN WIDTH BY PARALLEL LINES OFF THE ENTIRE SOUTH SIDE OF THE DONALD AND DONNA CHAMBERLAIN PARCEL DESCRIBED IN INSTRUMENT 20303016012; THENCE ALONG SAID NORTH LINE NORTH 79 DEGREES 27 MINUTES 52 SECONDS EAST 199.85 FEET; THENCE SOUTH 10 DEGREES 28 MINUTES 42 SECONDS EAST 298.66 FEET TO THE NORTHERLY DESCRIBED LINE OF THE LEBANON 30 COMPANY PROPERTY, AS RECORDED IN DEED RECORD 208, PAGES 907-908; THENCE ALONG SAID NORTHERLY LINE, SOUTH 79 DEGREES 36 MINUTES 23 SECONDS WEST 199.36 FEET TO THE POINT OF BEGINNING, CONTAINING 1.367 ACRES, MORE OR LESS, (69,572 SQ. FT.).

#### SURVEYOR'S REPORT

THE TOPOGRAPHIC DATA WAS GATHERED USING SURVEY GRADE GPS AND STANDARD RADIAL SURVEYING TECHNIQUES WITH AN ELECTRONIC INSTRUMENT WITH DATA COLLECTOR. ELEVATIONS ON HARD SURFACES OR STRUCTURES ARE ACCURATE TO WITHIN 0.05 FEET; ELEVATIONS ON NATURAL SURFACES ARE ACCURATE TO WITHIN 0.1 FEET ON THE DATE ON WHICH THE ELEVATIONS WERE OBTAINED; HOWEVER, CHANGES IN ELEVATIONS CAN OCCUR DUE TO SOILS SWELL AND SUBSIDENCE, FREEZE THAW CYCLES, AND WIND AND WATER EROSION. THE MAGNITUDE OF THESE CHANGES DEPENDS UPON SOILS TYPES, SEASONAL CHANGES, AND THE FREQUENCY AND INTENSITY OF WIND, RAIN, AND SNOW EVENTS. IT IS RECOMMENDED THAT IF THE TOPOGRAPHIC DATA IS TO BE USED FOR PLANNING OR DESIGN PURPOSES THAT A CHECK OF ELEVATIONS BE PERFORMED PRIOR TO ANY CONSTRUCTION ACTIVITY. CONTOURS ARE PLOTTED BASED UPON INTERPOLATION OF THE SPOT ELEVATIONS SHOWN HEREON AND ARE GENERALLY ACCURATE TO WITHIN ONE-HALF OF THE CONTOUR INTERVAL DEPICTED. THE FOLLOWING PARAGRAPHS ARE OBSERVATIONS AND OPINIONS REGARDING THE UNCERTAINTIES IN THE LOCATIONS OF MONUMENTS BOTH FOUND AND SET, RECORD DOCUMENTS AND THE DEED LINES AS ESTABLISHED OR REESTABLISHED BY THIS SURVEY, AND AS INTRODUCED BY PROBABLE RANDOM ERRORS IN THE MEASUREMENTS MADE DUE TO THE INSTRUMENTATION AND TECHNIQUES EMPLOYED (RELATIVE POSITIONAL ACCURACY). THE SURVEY MAY SHOW DIFFERENCES BETWEEN THE DEED (D) OR PLAT (P) DIMENSIONS AND THE MEASURED (M) DIMENSIONS ALONG THE DEED LINES. THERE MAY BE DIFFERENCES BETWEEN THE DIMENSIONS OF OCCUPATION (POSSESSION) AND THE DEED LINES AS SHOWN ON THIS SURVEY.

#### MONUMENTS

MONUMENTS WERE SET OR FOUND DURING THE COURSE OF THIS SURVEY. THOSE SET IN THE GROUND ARE 5/8" REBAR WITH YELLOW PLASTIC CAPS STAMPED "WEIHE ENGR 0012", UNLESS OTHERWISE NOTED. MONUMENTS SET IN HARD SURFACED AREAS, SUCH AS ASPHALT, ARE AS INDICATED ON THE DRAWING AND HAVE A WASHER STAMPED "WEIHE ENGR 0012" WHERE POSSIBLE. THERE MAY BE 5/8" REBAR WITH RED PLASTIC CAPS STAMPED "TRAVERSE", WOODEN STAKES, OR SPIKE NAILS FOUND ON OR NEAR THE SUBJECT REAL ESTATE. THESE ARE WORKING POINTS AND SHOULD NOT BE CONFUSED WITH MONUMENTS MARKING THE BOUNDARIES OF THE SUBJECT PROPERTY. MONUMENTS FOUND AT OR NEAR THE DEED CORNERS, OR ALONG THE DEED LINES OF THE SUBJECT REAL ESTATE ARE INDICATED ON THE DRAWING. BECAUSE THE DIFFERENCE IS DEEMED INSIGNIFICANT, MONUMENTS WERE NOT SET IN THOSE CASES WHERE A FOUND MONUMENT WAS NOT IN EXACT AGREEMENT WITH THIS SURVEY, BUT WITHIN THE TOLERANCES REQUIRED FOR A CERTAIN CLASS OF SURVEY. THE DIFFERENCE MAY BE SHOWN ON THE SURVEY TO ACCENTUATE THE UNCERTAINTY OF THAT MONUMENT. IN THOSE CASES WHERE THE DIFFERENCE IS GREATER THAN THE RELATIVE POSITIONAL ACCURACY OR UNCERTAINTY IN CONTROLLING MONUMENTS, CAUTION SHOULD BE EXERCISED BEFORE MAKING ANY IMPROVEMENTS ALONG THE LINES AFFECTED. THOSE UNCERTAINTIES CONSIDERED TO BE SIGNIFICANT ARE DISCUSSED BELOW. THE MONUMENTS ESTABLISHED AT THE CORNERS OF THE SUBJECT REAL ESTATE ARE WITHIN THE ACCEPTABLE RELATIVE POSITIONAL SPECIFICATIONS FOR AN URBAN SURVEY, 0.07 FEET + 50 PPM AS DEFINED IN 865 IAC 1-12-7.

THE FOLLOWING ARE THE MONUMENTS FOUND OR RE-ESTABLISHED MARKING THE CORNERS COMMON TO THE SOUTHEAST QUARTER, SECTION 24, TOWNSHIP 19 NORTH, RANGE 1 WEST.

SOUTHEAST CORNER - 5/8" REBAR CAPPED BOONE COUNTY SURVEYOR FOUND 0.1' ABOVE GRADE PER BOONE COUNTY SURVEYOR'S OFFICE SECTION CORNER RECORD

SOUTHWEST CORNER - HARRISON MONUMENT FOUND FLUSH IN CONCRETE PER BOONE COUNTY SURVEYOR'S OFFICE SECTION CORNER RECORD

THE FOLLOWING ARE THE MONUMENTS FOUND OR RE-ESTABLISHED MARKING THE CORNERS COMMON TO THE SOUTHWEST QUARTER, SECTION 19, TOWNSHIP 19 NORTH, RANGE 1 EAST.

SOUTHWEST CORNER - 5/8" REBAR CAPPED BOONE COUNTY SURVEYOR FOUND FLUSH PER BOONE COUNTY SURVEYOR'S OFFICE SECTION CORNER RECORD

#### THEORY OF LOCATION

THE SUBJECT REAL ESTATE IS DESCRIBED BY METES AND BOUNDS. THESE TYPES OF DESCRIPTIONS MAKE "CALLS", WHICH ARE REFERENCES TO RECORD, NATURAL, OR ARTIFICIAL MONUMENTS AT THE CORNERS; AND RECORD, NATURAL OR CULTURAL BOUNDARY LINES. THE MOST COMMON METHOD IS TO RECITE THE DIRECTION AND LENGTH OF EACH LINE AS ONE WOULD WALK AROUND THE PERIMETER OF THE PROPERTY. THE FOLLOWING PARAGRAPHS ARE OBSERVATIONS RELATIVE TO THOSE CONTROLLING MONUMENTS AND CALLS AS REFERENCED IN THE DESCRIPTION.

SEVERAL MONUMENTS WERE FOUND AROUND THE SUBJECT REAL ESTATE AND ARE AS SHOWN ON THE FACE OF THE SURVEY. THEY WERE USED TO RETRACE THE PARCEL LINES. BASED ON INSTRUMENT NUMBER 0510321 AND THE RIGHT OF WAY DEED RECORD IN DEED BOOK 238, PAGES 500-501, THE WEST LINE WAS RETRACED ALONG THE EAST RIGHT OF WAY OF STATE ROAD 39 AS EVIDENCED BY SEVERAL 5/8" REBARS AS SHOWN ON THE FACE OF THE SURVEY. RECORD DIMENSIONS WERE HELD. THE NORTH PORTION OF THE SURVEYED REAL ESTATE IS A 50 FOOT EXCEPTION FROM THE SOUTH LINE OF THE NORTH ADJOINER. TWO 5/8" REBARS WERE FOUND AT THE ORIGINAL SOUTHEAST AND SOUTHWEST CORNERS OF THE NORTH ADJOINER. THE LOCATION OF THESE MONUMENTS WERE HELD AS THE BEST EVIDENCE OF THIS LINE AND THE NORTH LINE WAS ESTABLISHED 50 FEET BY PARALLEL LINES NORTH OF THIS EVIDENCE. THE EAST LINE WAS RETRACED BY FOUND MONUMENTATION. THE SOUTH LINE WAS ESTABLISHED BY THE FOUND MONUMENTATION TO THE EASTERN RIGHT OF WAY OF STATE ROAD 39.

#### COMMON TITLE LINES

INFORMATION REGARDING THE OWNERSHIP OF THE SUBJECT REAL ESTATE OR ADJOINING PARCELS IS THAT AS SHOWN IN LOCAL GOVERNMENT RECORDS, OR AS FURNISHED BY OTHERS. A COMPARISON WAS MADE BETWEEN THE DEED CALLS OF THE SUBJECT REAL ESTATE AND THOSE ADJOINING PARCELS WITH COMMON LINES WITH THE SURVEYED PARCEL AND SOME DISCREPANCIES WERE FOUND.

NUMEROUS ISSUES HAVE CONTRIBUTED TO THE UNCERTAINTY OF PARCEL LINES. THE TIES OF THE SUBJECT PROPERTY AND NUMEROUS ADJOINERS ARE BASED ON THE SECTION CORNER LOCATIONS AT THE TIME OF THE INDIVIDUAL PARCEL LOCATIONS. SECTION CORNER MONUMENTATION TYPES HAVE CHANGED AND THERE MAY BE VARIANCE IN THE LOCATIONS, DEPENDING ON THE TIME OF LOCATION. ALSO, THE VESTING DESCRIPTIONS AND THE DESCRIPTIONS OF THE SURROUNDING PROPERTIES ARE BASED ON AN OLD RIGHT OF WAY OF STATE ROAD 39 (NORTH LEBANON STREET) WHICH HAS NOT BEEN IN EXISTENCE SINCE AT LEAST 1993. THERE IS DOCUMENTATION SHOWING TWO WIDENINGS OF THE RIGHT OF WAY SINCE THEN, WITH THE LATEST DEED RECORDED IN 1991 BEING A FEE SIMPLE WARRANTY DEED. ACCORDINGLY, THE CURRENT RIGHT OF WAY SHOWN IS TO THE EAST LINE OF THE FOREMENTIONED WARRANTY DEED. THESE ISSUES GIVE AN UNCERTAINTY OF 8.7 FEET NORTH-SOUTH AND 1.5 FEET EAST-WEST.

THE SURVEYED PARCEL, THE ADJOINERS TO THE NORTH AND EAST WERE, AT ONE TIME, ALL A PART OF ONE PARENT PARCEL. AS SUCH, IT WAS DETERMINED THAT THE CONCERNED PARTIES WERE NOT IN AGREEMENT AS TO WHICH DISCREPANCIES LIE BETWEEN THESE PARCELS. THE DISCREPANCIES, AS DETAILED BELOW.

THE SOUTH LINE OF THE SUBJECT REAL ESTATE IS CITED AS BEING 250.22'. THE THREE PARCELS EAST OF THE SURVEYED REAL ESTATE COMMENCE ALONG THE SOUTH AND EAST LINES OF THE SURVEYED PARCEL. THEY NOTED A DISTANCE OF 250.82' ALONG THE SOUTH LINE. THIS CREATED A 0.6% APPARENT DEED GAP ALONG THE EAST LINE.

THE DESCRIPTION OF THE SOUTH ADJOINER HAD SEVERAL PATENT AMBIGUITIES WITH CURVES REQUISITES CONFLICTING WITH EACH OTHER. THIS CREATED A POTENTIAL DISCREPANCY OF 0.5'. THIS DESCRIPTION ALSO DID NOT MATHEMATICALLY CLOSE BY 0.15'. DUE TO THIS, THERE IS A 0.3-0.5' APPARENT DEED GAP ALONG THE SOUTH LINE.

#### OCCUPATION ALONG DEED LINES

OCCUPATION MEANS SOME OBSERVABLE IMPROVEMENT EITHER MAN MADE OR A NATURAL BARRIER MANIPULATED BY MAN TO DELINEATE THE PROPERTY LINE. IT SHOULD BE NOTED THAT NOT ALL FENCES ARE ERRECTED TO DEFINE PROPERTY LINES AND CAUTION IS WARRANTED BEFORE ACCEPTING THIS TYPE OF BARRIER AS SUCH. ONE SHOULD ALSO BE AWARE THAT WHEN THESE TYPES OF OCCUPATION ARE NOT IN AGREEMENT WITH DEED LINES CERTAIN UNWRITTEN RIGHTS MAY EXIST OVER THE LAND BETWEEN THEM. THOSE PARTIES RELYING ON THE SURVEY SHOULD ASSUME THAT THE UNCERTAINTY OF OWNERSHIP OF THESE AREAS WHERE OCCUPATION LINES AND DEED LINES ARE NOT IN COINCIDENCE IS, AT LEAST, EQUAL TO THE MAGNITUDE OF THE DIFFERENCE. UNLESS OTHERWISE NOTED OR SHOWN ON THE SURVEY, THERE IS NO VISIBLE EVIDENCE OF OCCUPATION (POSSESSION) ALONG THE DEED LINES OF THE SUBJECT REAL ESTATE.

THE WEST LINE RUNS GENERALLY ALONG THE IMPROVEMENTS OF STATE ROAD 39. THE NORTH LINE RUNS GENERALLY ALONG THE CURB LINE. THE EAST LINE RUNS GENERALLY ALONG THE IMPROVEMENTS OF COMMERCE DRIVE. THE SOUTH LINE RUNS GENERALLY ALONG THE ASPHALT LINE.

#### CERTIFICATE OF SURVEY ALTAINSPS LAND TITLE SURVEY

TO: K-MAC ENTERPRISES, INC. A MISSOURI CORPORATION; FIRST AMERICAN TITLE INSURANCE COMPANY;

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTAINSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 7(A), 7(B) (1), 8, 9, 11, AND 13 OF TABLE A THEREOF. I FURTHER CERTIFY THAT TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION, AND BELIEF, THE HEREIN SURVEY MEETS OR EXCEEDS THE MINIMUM REQUIREMENTS AS SET FORTH IN 865 IAC 1-12-7, AND THE WITHIN PLAT AND REPORT REPRESENTS THE RESULTS OF AN URBAN SURVEY, AS DEFINED THEREIN. THE FIELDWORK WAS COMPLETED UNDER MY DIRECT SUPERVISION ON FEBRUARY 24, 2022.

Karen Sutton  
PROFESSIONAL LAND SURVEYOR #21200013  
JUNE 02, 2022

THIS INSTRUMENT PREPARED BY: KAREN SUTTON, PLS

I AFFIRM, UNDER THE PENALTIES FOR PERJURY, THAT I HAVE TAKEN REASONABLE CARE TO REDACT EACH SOCIAL SECURITY NUMBER. IN THIS DOCUMENT, UNLESS REQUIRED BY LAW - KAREN SUTTON, PLS

#### SURVEYOR NOTES

1. AS USED IN THIS SURVEY, CERTIFY MEANS TO STATE OR DECLARE A PROFESSIONAL OPINION OF CONDITIONS REGARDING THOSE FACTS OR FINDINGS WHICH ARE THE SUBJECT OF THE CERTIFICATION AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE, EITHER EXPRESS OR IMPLIED. INTERPRETATIONS ARE NOT A PART OF ANY CERTIFICATION.

NO WARRANTY, EITHER EXPRESS OR IMPLIED, IS MADE AS TO THE ACCURACY OR COMPLETENESS OF INFORMATION PROVIDED BY GOVERNMENTAL AUTHORITIES AND /OR THIRD PARTIES, OR AS TO ITS FITNESS FOR ANY PARTICULAR PURPOSE OR USE, INCLUDING BUT NOT LIMITED TO INFORMATION PRESENTED ON UNDERGROUND UTILITIES, FLOOD HAZARD ZONES, FLOODWAY ZONES, WETLANDS, RECORDING INFORMATION, ZONING, AND REGULATED DRAINS. IN NO EVENT WILL WEIHE ENGINEERS, INC., ITS EMPLOYEES, AGENTS, AND/OR ASSIGNS BE LIABLE FOR ANY DAMAGES ARISING OUT OF THE FURNISHING AND/OR USE OF SUCH INFORMATION

2. PURSUANT TO THE ACCURACY STANDARDS AS ADOPTED BY ALTA AND NSPS IN EFFECT ON THE DATE OF THIS CERTIFICATION, UNDERSIGNED FURTHER CERTIFIES THAT IN MY PROFESSIONAL OPINION, AS A LAND SURVEYOR IN THE STATE OF INDIANA, THE RELATIVE POSITION OF ACCURACY OF THIS SURVEY DOES NOT EXCEED THAT WHICH IS SPECIFIED THEREIN.

3. THIS SURVEY WAS PREPARED UTILIZING INFORMATION CONTAINED IN FIRST AMERICAN TITLE INSURANCE COMPANY COMMITMENT #NCS-1104416-INDY, DATED DECEMBER 8, 2021. SOME OF THE ITEMS DISCLOSED IN SCHEDULE BII OF SAID COMMITMENT HAVE BEEN SHOWN ON THE SURVEY, IF POSSIBLE, AND ARE IDENTIFIED BY THEIR RECORD INFORMATION. IF THERE IS A NEED FOR ADDITIONAL ITEMS TO BE SHOWN ON THE SURVEY, PLEASE ADVISE ME AND PROVIDE THE APPROPRIATE INFORMATION.

4. A COMBINATION OF GPS COLLECTION AND ROBOTIC TOTAL STATION WAS UTILIZED IN COMPLETING THIS SURVEY. ALL EQUIPMENT USED WERE TRIMBLE GPS ROVERS, TOTAL STATIONS, AND DATA COLLECTORS.

5. BASIS OF BEARINGS: THE BEARINGS SHOWN ON THIS SURVEY ARE BASED ON THE INDIANA STATE PLANE COORDINATE SYSTEM FOR THE WEST ZONE, NAD83 (2011.00), SAID BEARINGS ORIGINATED FROM A FIELD TRAVELER WHICH WAS TIED (REFERENCED) TO SAID COORDINATE SYSTEM BY GPS OBSERVATIONS USING INDIANA'S INCORS RTK NETWORK.

6. THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION (INCLUDING, BUT NOT LIMITED TO, MANHOLES, INLETS, VALVES, AND/OR MARKS MADE UPON THE GROUND BY OTHER) AND/OR EXISTING DRAWINGS AND ARE SPECULATIVE IN NATURE. THERE MAY ALSO BE OTHER EXISTING UNDERGROUND UTILITIES FOR WHICH THERE IS NO ABOVE GROUND EVIDENCE OR FOR WHICH NO ABOVE GROUND EVIDENCE WAS OBSERVED. THE EXACT LOCATION OF SAID EXISTING UNDERGROUND UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO ANY AND ALL CONSTRUCTION OF PLANNED IMPROVEMENTS ON OR NEAR THE PROPERTY. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN ON THIS SURVEY COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN-SERVICE OR INACTIVE.

7. ANY BUILDING DIMENSIONS SHOWN ON THIS SURVEY ARE AS COLLECTED IN THE FIELD. BUILDINGS MAY NOT BE CLOSED FIGURES DUE TO THE TYPES OF CONSTRUCTION MATERIALS USED AND PLUMBNESS OF WALLS MEASURED.

#### ALTAINSPS TABLE "A" ITEMS

ITEM 1. MONUMENTS PLACED (OR A REFERENCE MONUMENT OR WITNESS TO THE CORNER) AT ALL MAJOR CORNERS OF THE BOUNDARY OF THE PROPERTY, UNLESS ALREADY MARKED OR REFERENCED BY EXISTING MONUMENTS OR WITNESSES IN CLOSE PROXIMITY TO THE CORNER.  
AS SHOWN ON THE FACE OF THE SURVEY

ITEM 2. ADDRESS(ES) OF THE SURVEYED PROPERTY IF DISCLOSED IN DOCUMENTS PROVIDED TO OR OBTAINED BY THE SURVEYOR OR OBSERVED OR CONDUCTING THE FIELDWORK.  
2437 N LEBANON STREET, LEBANON, IN

ITEM 3. THE ACCURACY OF THE FLOOD HAZARD DATA SHOWN ON THIS REPORT IS SUBJECT TO MAP SCALE UNCERTAINTY AND TO ANY OTHER UNCERTAINTY IN LOCATION OR ELEVATION ON THE REFERENCED FLOOD INSURANCE RATE MAP. ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP OF LEBANON, INDIANA, COMMUNITY #180013, MAP #18011C0178E DATED JANUARY 18, 2012, THE DESCRIBED REAL ESTATE LIES WITHIN THE UNSHADED ZONE "X", WHICH ARE AREAS DETERMINED TO BE OUTSIDE 500-YEAR FLOODPLAIN .

ITEM 4. GROSS LAND AREA (AND OTHER AREAS IF SPECIFIED BY THE CLIENT).  
TOTAL SURVEYED AREA: 1.367± ACRES  
TRACT I: 0.749± ACRES  
TRACT II: 0.618± ACRES

ITEM 5. VERTICAL RELIEF WITH THE SOURCE OF INFORMATION (E.G., GROUND SURVEY, AERIAL MAP), CONTOUR INTERVAL, DATUM, AND ORIGINATING BENCHMARK IDENTIFIED.  
THE VERTICAL LOCATION DATA SHOWN ON THIS SURVEY ARE BASED UPON POSITIONAL SOLUTIONS DERIVED FROM REAL-TIME KINEMATIC (RTK) GLOBAL POSITIONING SYSTEM (GPS) OBSERVATIONS PROCESSED BY THE INDIANA DEPARTMENT OF TRANSPORTATION (INDOT) CONTINUOUSLY OPERATING REFERENCE STATIONS (CORS). THE VERTICAL DATUM IS BASED UPON NAVD 88.

PROJECT BM  
2.4 MILES NORTH ALONG STATE HIGHWAY 39 FROM THE COURTHOUSE ATLEBANON, 0.1 MILE SOUTH OF AN EAST-WEST CROSS ROAD, AT THE DRIVEWAY LEADING TO THE CLINT PERKINS FARMHOUSE, 52 FEET EAST OF THE CENTERLINE OF THE HIGHWAY, 14 FEET NORTHWEST OF THE NORTH HEADWALL OF THE PERKINS DRIVE, AND NEAR A WHITE WOODEN WITNESS POST, A STANDARD DISK, STAMPED D 114 SET 1993 AND SET IN THE TOP OF A CONCRETE POST PROJECTING 1 FOOT ABOVE GROUND.  
ELEV: 936.7' (NAVD 88) (PUBLISHED)  
ELEV: 936.58' (NAVD 88) (MEASURED)

#### SITE TBMS

TBM 1  
CUT SQUARE IN SOUTHEAST CORNER OF CONCRETE BASE OF TRAFFIC STRAIN POLE ON WEST SIDE OF THE SURVEYED PARCEL.  
ELEV: 943.31' (NAVD 88)

TBM 2  
CUT X IN WEST BONNET BOLT OF FIRE HYDRANT EAST OF THE SURVEYED PARCEL.  
ELEV: 945.90' (NAVD 88)

ITEM 7(A). EXTERIOR DIMENSIONS OF ALL BUILDINGS AT GROUND LEVEL.  
AS SHOWN ON THE FACE OF THE SURVEY

ITEM 7(B). SQUARE FOOTAGE OF:  
EXTERIOR FOOTPRINT OF ALL BUILDINGS AT GROUND LEVEL.  
OTHER AREAS AS SPECIFIED BY THE CLIENT.  
AS SHOWN ON THE FACE OF THE SURVEY

ITEM 8. SUBSTANTIAL FEATURES OBSERVED IN THE PROCESS OF CONDUCTING THE FIELDWORK (IN ADDITION TO THE IMPROVEMENTS AND FEATURES IDENTIFIED IN SECTION 5 ABOVE) (E.G., PARKING LOTS, BILLBOARDS, SIGNS, SWIMMING POOLS, LANDSCAPED AREAS, SUBSTANTIAL AREAS OF REFUSE).  
AS SHOWN ON THE FACE OF THE SURVEY

ITEM 9. NUMBER AND TYPE (E.G., DISABLED, MOTORCYCLE, REGULAR AND OTHER MARKED SPECIALIZED TYPES) OF CLEARLY IDENTIFIABLE PARKING SPACES ON SURFACE PARKING AREAS, LOTS AND IN PARKING STRUCTURES. STRIPING OF CLEARLY IDENTIFIABLE PARKING SPACES ON SURFACE PARKING AREAS AND LOTS.  
AS SHOWN ON THE FACE OF THE SURVEY

ITEM 11. LOCATION OF UTILITIES EXISTING ON OR SERVING THE SURVEYED PROPERTY AS DETERMINED BY:  
X (A) PLANS AND/OR REPORTS PROVIDED BY CLIENT (WITH REFERENCE AS TO THE SOURCES OF INFORMATION)  
X (B) MARKINGS COORDINATED BY THE SURVEYOR PURSUANT TO A PRIVATE UTILITY LOCATE REQUEST.  
NOTE TO THE CLIENT, INSURER, AND LENDER - WITH REGARD TO TABLE A, ITEM 11, INFORMATION FROM SOURCES CHECKED ABOVE WILL BE COMBINED WITH OBSERVED EVIDENCE OF UTILITIES PURSUANT TO SECTION 5.I.V. TO DEVELOP A VIEW OF THE UNDERGROUND UTILITIES. HOWEVER, LACKING EXCAVATION, THE EXACT LOCATION OF UNDERGROUND UTILITIES CANNOT BE ACCURATELY, COMPLETELY, AND RELIABLY DEPICTED. IN ADDITION, IN SOME JURISDICTIONS, 811 OR OTHER SIMILAR UTILITY LOCATE REQUESTS FROM SURVEYORS MAY BE IGNORED OR RESULT IN AN INCOMPLETE RESPONSE, IN WHICH CASE THE SURVEYOR SHALL NOTE ON THE PLAT OR MAP HOW THIS AFFECTED THE SURVEYOR'S ASSESSMENT OF THE LOCATION OF THE UTILITIES. WHERE ADDITIONAL OR MORE DETAILED INFORMATION IS REQUIRED, THE CLIENT IS ADVISED THAT EXCAVATION MAY BE NECESSARY.  
AS SHOWN ON THE FACE OF THE SURVEY

ITEM 13. NAMES OF ADJOINING OWNERS ACCORDING TO CURRENT TAX RECORDS. IF MORE THAN ONE OWNER, IDENTIFY THE FIRST OWNER'S NAME LISTED IN THE TAX RECORDS FOLLOWED BY "ET AL."  
AS SHOWN ON THE FACE OF THE SURVEY

#### TITLE COMMITMENT/EASEMENTS

PART ONE:

1. ANY DEFECT, LIEN, ENCUMBRANCE, ADVERSE CLAIM, OR OTHER MATTER THAT APPEARS FOR THE FIRST TIME IN THE PUBLIC RECORDS OR IS CREATED, ATTACHES, OR IS DISCLOSED THROUGH THE COMMITMENT DATE AND THE DATE ON WHICH ALL OF THE SCHEDULE B, PART I REQUIREMENTS ARE MET.  
NOT A SURVEY MATTER.

2. ANY DISCREPANCIES OR CONFLICTS IN BOUNDARY LINES, ANY SHORTAGES IN AREA, OR ANY ENCRoACHMENT OR OVERLAPPING IN IMPROVEMENTS.  
POSSIBLE ENCRoACHMENTS ARE AS SHOWN ON THE FACE OF THE SURVEY. ACREAGE SHOWN IS AS SURVEYED. ALL OTHER ITEMS ARE NOT A SURVEY MATTER.

3. ANY FACTS, RIGHTS, INTERESTS OR CLAIMS WHICH ARE NOT SHOWN BY THE PUBLIC RECORDS BUT WHICH COULD BE ASCERTAINED BY AN ACCURATE SURVEY OF THE LAND OR BY MAKING INQUIRY OF PERSONS IN POSSESSION OF THE LAND.  
NOT A SURVEY MATTER.

4. EASEMENTS, LIENS OR ENCUMBRANCES OR CLAIMS THEREOF, WHICH ARE NOT SHOWN BY THE PUBLIC RECORDS.  
NO UNRECORDED EASEMENTS WERE PROVIDED TO THE SURVEYOR. THE OTHER ITEMS ARE NOT SURVEY MATTERS.



1. INSTALL PERMIT POSTING AREA. 4" PVC TUBE WITH END CAPS ATTACHED TO PROJECT CONSTRUCTION SIGN TO CONTAIN APPROVED CONSTRUCTION DRAWINGS AND PERMITS FOR INSPECTORS.
2. INSTALL CONCRETE WASHOUT - REFER TO DETAIL ON SHEET C3
3. INSTALL SILT FENCE - REFER TO DETAIL ON SHEET C3
4. LIMITS OF PROPOSED TACO BELL BUILDING
5. DEMO UNLESS OTHERWISE NOTED (STORM STRUCTURES, STORM LINES, AND WATER LINES TO REMAIN AND BE PROTECTED)
6. STAGING AREA - PROVIDE CONSTRUCTION DUMPSTER, FUELING AREA, AND PORT-O-LET AS NEEDED.
7. SOIL STOCKPILE
8. EXISTING SANITARY MANHOLE TO REMAIN.
9. PROTECT AND KEEP EXISTING UTILITY BOXES
10. REMOVE EXISTING ROW DRIVEWAY AND SIDEWALK PAVEMENT
11. EXISTING STORM STRUCTURE TO BE REMOVED OR RELOCATED (FIELD VERIFY WHERE IT GOES)
12. SAWCUT PAVEMENT
13. INSTALL CONSTRUCTION ENTRANCE
14. LIMITS OF PROPOSED TACO BELL BUILDING

- ## EROSION CONTROL NOTES
1. ALL DISTURBED AREAS SHALL BE SODDED OR SEED, EXCEPT BUILDING PAD AND LANDSCAPE BEDS. SEE LANDSCAPE PLANS FOR LOCATION OF LANDSCAPE BEDS.
  2. INSTALL SILT FENCE ALONG ALL DOWNSTREAM SLOPES. SILT FENCE TO FOLLOW CONTOUR.
  3. THERE SHALL BE NO DIRT, DEBRIS OR STORAGE OF MATERIAL IN THE STREET.

(U)	(U)	UNDERGROUND TELEPHONE
G	G	UNDERGROUND GAS
W	W	UNDERGROUND WATER
E(A)	E(A)	AERIAL ELECTRIC
E	E	UNDERGROUND ELECTRIC
C	C	UNDERGROUND COMMUNICATION
C(A)	C(A)	AERIAL COMMUNICATIONS
FO	FO	UNDERGROUND FIBER OPTIC
FO(A)	FO(A)	AERIAL FIBER OPTIC CABLE
OHU	OHU	OVERHEAD UTILITY
FM	FM	FORCE MAIN
—	—	SANITARY SEWER
—	—	STORM SEWER
□	□	RIGHT OF WAY LINE
○	○	CHAIN LINK FENCE
□	□	BOARD FENCE
○	○	WROUGHT IRON FENCE
X	X	FARM FENCE
T	T	GUARD RAIL
x	x	HAND RAIL
SF	SF	SILT FENCE
—	—	BUILDING SETBACK LINE
—	—	BOUNDARY LINE
o o o	o o o	FLOW LINE
—	—	SECTION LINE
500	500	INDEX CONTOUR
501	501	INTERMEDIATE CONTOUR

-  - INLET PROTECTION - USE SUBSURFACE INLET PROTECTION WITH OVERFLOW CAPABILITY (DANDY SAC)
-  - STAGING AREA
-  - CONSTRUCTION ENTRANCE
-  - POSTING AREA - 4" PVC TUBE WITH END CAPS ATTACHED TO PROJECT CONSTRUCTION SIGN TO CONTAIN APPROVED CONSTRUCTION DRAWINGS AND PERMITS FOR INSPECTORS.
-  - CONCRETE WASHOUT
-  - SILT FENCE
-  - SILT DIKE
-  - LIMITS OF DISTURBANCE
-  - TREE PROTECTION FENCE

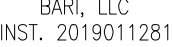
 REMOVED CONCRETE PAVEMENT

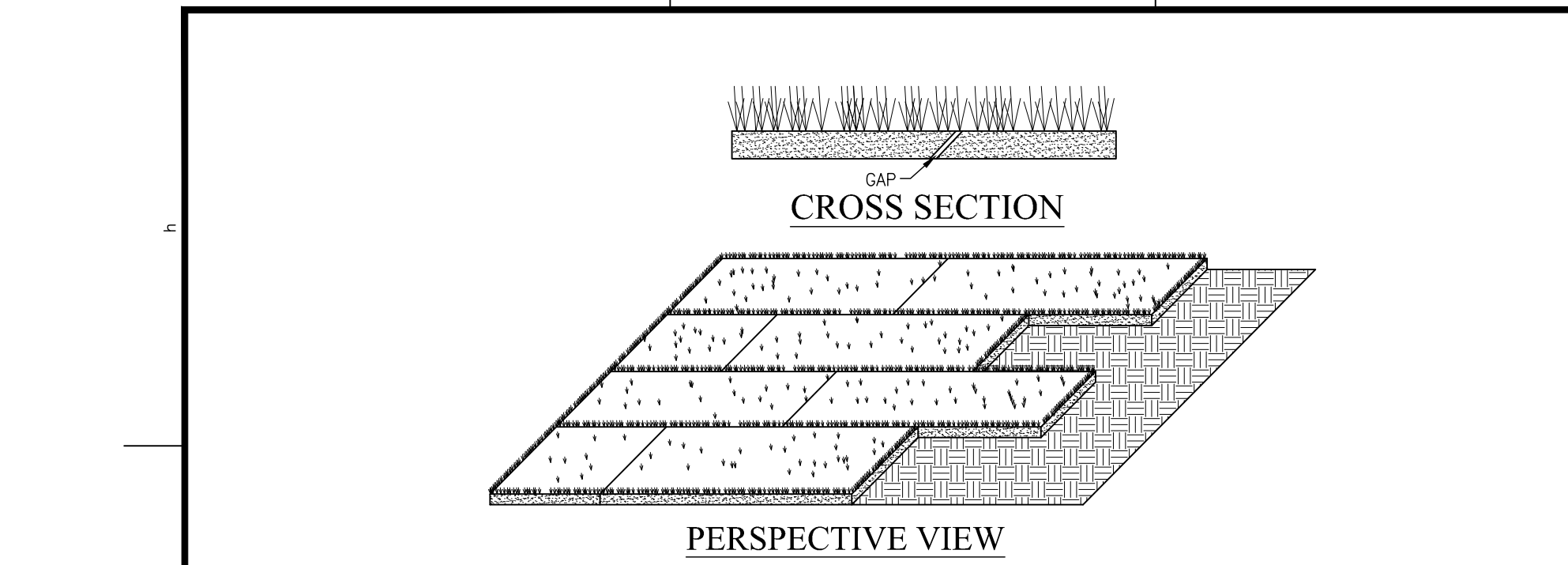
DISTURBED = 1.44 AC.  
PERVIOUS = 1.14 AC.  
IMPERVIOUS = 0.08 AC.



PROJECT NO. <b>W22.0092</b>	SHEET NO. <div style="font-size: 2em; font-weight: bold; text-align: center;">C2</div>	PREPARED FOR: <div style="text-align: center;"> <b>PROPOSED TACO BELL</b>  <b>- 2437 N LEBANON STREET, LEBANON, INDIANA</b> </div>
	SWPPP1 PLAN - DEMO PLAN SECTION 24, TOWNSHIP 19 NORTH, RANGE 1 WEST, CENTER TOWNSHIP, BOONE COUNTY, INDIANA.	

SECTION 24, TOWNSHIP 19 NORTH, RANGE 1 WEST, CENTER TOWNSHIP, BOONE COUNTY, INDIANA.





**SPECIFICATIONS**  
**SITE PREPARATION**  
GRADE THE SITE TO ACHIEVE POSITIVE DRAINAGE.  
PREPARE A SMOOTH, FIRM SOIL SURFACE AND APPLY SOIL AMENDMENTS. IRRIGATION IRRIGATE AS NEEDED TO ENSURE ROOTING OF SOD.  
**MATERIALS**  
SOIL AMENDMENTS - SELECT MATERIALS AND RATES AS DETERMINED BY A SOIL TEST (CONTACT YOUR COUNTY SOIL AND WATER CONSERVATION DISTRICT OR COOPERATIVE EXTENSION OFFICE FOR ASSISTANCE AND SOIL INFORMATION, INCLUDING AVAILABLE SOIL TESTING SERVICES.) OR 400 TO 600 POUNDS OF 12-12-12 ANALYSIS FERTILIZER, OR EQUIVALENT.  
SOD - SELECT A HIGH QUALITY, HEALTHY, VIGOROUS VARIETY WELL ADAPTED TO THE REGION AND COMPATIBLE WITH THE INTENDED USE.  
**INSTALLATION**  
SOD SHOULD NOT BE INSTALLED DURING HOT WEATHER, ON DRY SOIL, FROZEN SOIL, COMPACTED CLAY, LOOSE SAND OR GRAVELLY SUBSTRATE SOILS, AGGREGATE, OR PESTICIDE TREATED SOIL. THE IDEAL TIME TO LAY SOD IS MAY 1 TO JUNE 1 OR SEPTEMBER 1 TO SEPTEMBER 30, ALTHOUGH IT CAN BE INSTALLED AS EARLY AS MARCH 15 IF AVAILABLE OR JUNE 1 TO SEPTEMBER 1 IF IRRIGATED.

**SITE PREPARATION**  
1. APPLY TOPSOIL IF EXISTING SOIL CONDITIONS ARE UNSUITABLE FOR ESTABLISHING VEGETATION.  
2. GRADE THE SITE TO ACHIEVE POSITIVE DRAINAGE AND CREATE A SMOOTH, FIRM SOIL SURFACE.  
3. WHERE APPLICABLE, USE A CHISEL PLOW, DISK, HARROW, OR RAKE TO BREAK UP COMPACTED SOILS AND CREATE A FAVORABLE ROOTING DEPTH OF SIX TO EIGHT INCHES.  
**SOD BED PREPARATION**  
1. TEST SOIL TO DETERMINE PH AND NUTRIENT LEVELS.  
2. IF SOIL PH IS TOO ACIDIC FOR THE GRASS SOD TO BE INSTALLED, APPLY LIME ACCORDING TO SOIL TEST RESULTS OR AT THE RATE RECOMMENDED BY THE SOD SUPPLIER.  
3. APPLY FERTILIZER AS RECOMMENDED BY THE SOIL TEST. IF TESTING WAS NOT DONE, APPLY 400 TO 600 POUNDS PER ACRE OF 12-12-12 ANALYSIS FERTILIZER, OR EQUIVALENT.  
4. WORK THE SOIL AMENDMENTS INTO THE UPPER TWO TO FOUR INCHES OF SOIL WITH A DISK OR RAKE OPERATED ACROSS THE SLOPE.  
5. RAKE OR HARROW THE AREA TO ACHIEVE A SMOOTH FINAL GRADE AND THEN ROLL OR CULTIPACK THE SOIL SURFACE TO CREATE A FIRM SURFACE ON WHICH TO LAY THE SOD.  
**LAYING THE SOD**  
1. INSTALL SOD WITHIN THIRTY-SIX HOURS OF ITS CUTTING.  
2. STORE THE SOD IN A SHADED LOCATION DURING INSTALLATION.  
3. IMMEDIATELY BEFORE LAYING THE SOD, RAKE THE SOIL SURFACE TO BREAK ANY CRUST. (IF THE WEATHER IS HOT, LIGHTLY IRRIGATE THE SOIL SURFACE PRIOR TO LAYING THE SOD.)  
4. LAY SOD STRIPS IN A BRICK-LIKE PATTERN.  
5. BUTT ALL JOINTS TIGHTLY AGAINST EACH OTHER (DO NOT STRETCH OR OVERLAP THEM), USING A KNIFE OR MASON'S TROWEL TO TRIM AND FIT SOD INTO IRREGULARLY SHAPED AREAS.  
6. ROLL THE SOD LIGHTLY AFTER INSTALLATION TO ENSURE FIRM CONTACT BETWEEN THE SOD AND SOIL.  
7. IRRIGATE NEWLY SODDED AREAS UNTIL THE UNDERLYING SOIL IS WET TO A DEPTH OF FOUR INCHES, AND THEN KEEP MOIST UNTIL THE GRASS TAKES ROOT.

**SLOPE APPLICATION**  
1. INSTALL THE SOD STRIPS WITH THE LONGEST DIMENSION PERPENDICULAR TO THE SLOPE.  
2. WHERE SLOPES EXCEED A RATIO OF 3:1, STAPLE OR STAKE EACH STRIP AT THE CORNERS AND IN THE MIDDLE.  
**CHANNEL APPLICATION**  
(SODDING PROVIDES QUICKER PROTECTION THAN SEEDING AND MAY REDUCE THE RISK OF EARLY WASHOUT.)  
1. EXCAVATE THE CHANNEL, ALLOWING FOR THE FULL THICKNESS OF THE SOD.  
2. LAY THE SOD STRIPS WITH THE LONGEST DIMENSION PERPENDICULAR TO CHANNEL FLOW.  
3. STAPLE OR STAKE EACH STRIP OF SOD AT THE CORNERS AND IN THE MIDDLE.  
4. STAPLE, LITE OR BIODEGRADABLE POLYPROPYLENE NETTING OVER THE SODDED AREA TO MINIMIZE THE POTENTIAL FOR WASHOUT DURING ESTABLISHMENT.  
**MAINTENANCE**  
INSPECT WITHIN 24 HOURS OF EACH RAIN EVENT AND AT LEAST ONCE EVERY SEVEN CALENDAR DAYS UNTIL SOD IS WELL ROOTED.  
KEEP SOD MOIST UNTIL FULLY ROOTED.  
AFTER SOD IS WELL-ROOTED (TWO TO THREE WEEKS), MAINTAIN A PLANT HEIGHT OF TWO TO THREE INCHES.  
TIME MOWING TO AVOID RUTS IN TURF.  
FERTILIZE TURF AREAS ANNUALLY. APPLY FERTILIZER IN A SPLIT APPLICATION. FOR COOL SEASON GRASSES, APPLY ONE-HALF OF THE FERTILIZER IN LATE SPRING AND ONE-HALF IN EARLY FALL. FOR WARM-SEASON GRASSES, APPLY ONE-THIRD IN EARLY SPRING, ONE-THIRD IN LATE SPRING AND ONE-THIRD IN MID-SUMMER.

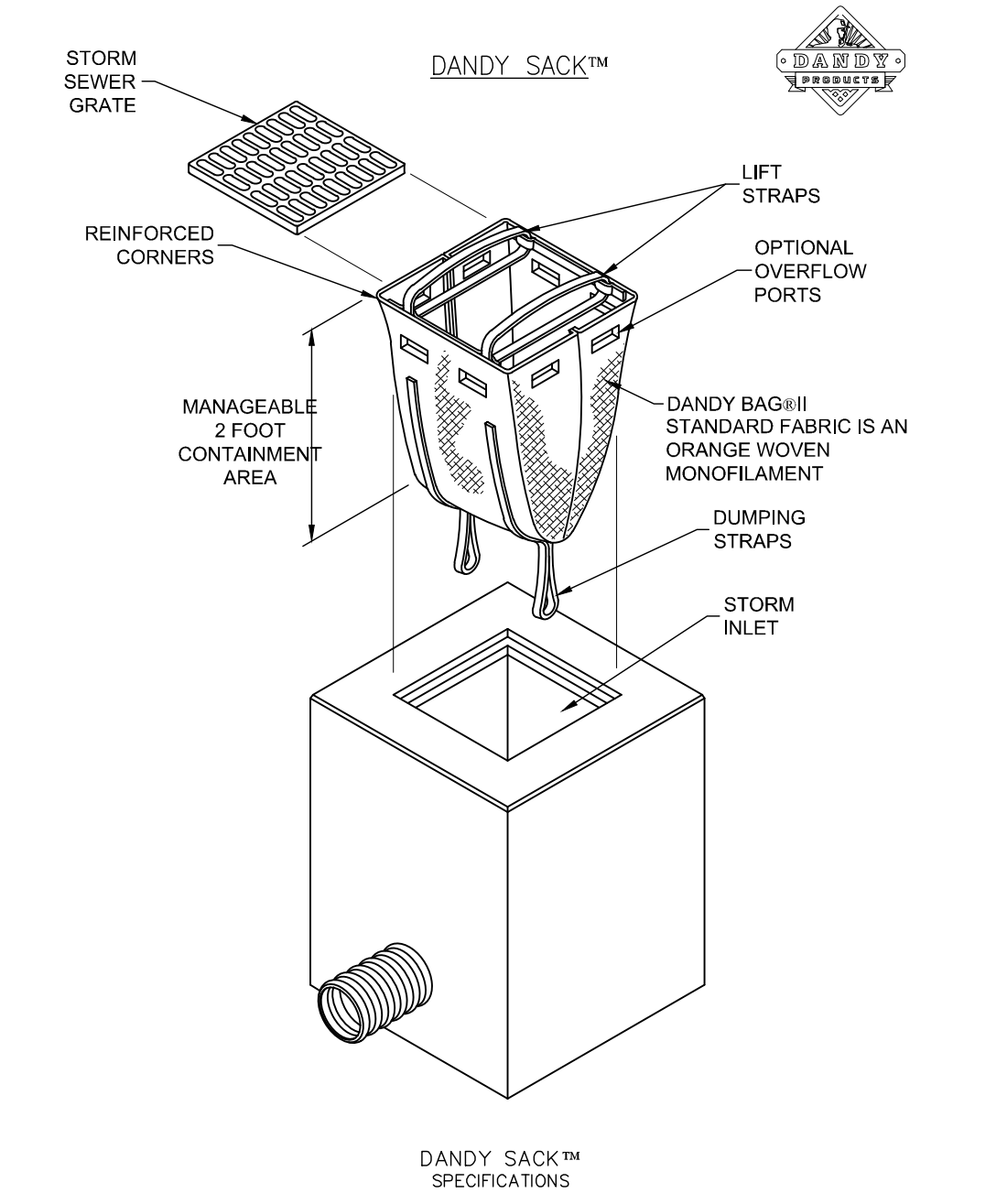
**REVISIONS AND ISSUES**

NO.	REVISION	DATE
1	ISSUED FOR PERMIT	03-07-2022

REFERENCE IN CHAPTER 7 PAGES 47-50 IN THE INDIANA STORM WATER QUALITY MANUAL.

- PREPARE SOIL BEFORE INSTALLING ROLLED EROSION CONTROL PRODUCTS (RECPs), INCLUDING ANY NECESSARY APPLICATION OF LIME, FERTILIZER, AND SEED. NOTE: WHEN USING CELL-O-SEED DO NOT SEED PREPARED AREA. CELL-O-SEED MUST BE INSTALLED WITH PAPER SIDE DOWN.
- BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE RECPs IN A 6" (15 CM) DEEP X 6" (15 CM) WIDE TRENCH WITH APPROXIMATELY 12" (30 CM) OF RECPs EXTENDED BEYOND THE UP-SLOPE PORTION OF THE TRENCH. ANCHOR THE RECPs WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" (30 CM) APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO COMPACTED SOIL AND FOLD REMAINING 12" (30 CM) PORTION OF RECPs BACK OVER SEED AND COMPACTED SOIL. SECURE RECPs COVER COMPACTED SOIL WITH A ROW OF STAPLES/STAKES SPACED APPROXIMATELY 12" (30 CM) APART ACROSS THE WIDTH OF THE RECPs.
- ROLL THE RECPs (A) DOWN OR (B) HORIZONTALLY ACROSS THE SLOPE. RECPs WILL UNROLL WITH APPROPRIATE SIDE AGAINST THE SOIL SURFACE. ALL RECPs MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS SHOWN IN THE STAPLE PATTERN GUIDE. WHEN USING THE DOT SYSTEM STAPLES/STAKES SHOULD BE PLACED THOUGH EACH OF THE COLORED DOTS CORRESPONDING TO THE APPROPRIATE STAPLE PATTERN.
- THE EDGES OF PARALLEL RECPs MUST BE STAPLED WITH APPROXIMATELY 2" - 5" (5 CM - 12.5 CM) OVERLAP DEPENDING ON RECPs TYPE.
- CONSECUTIVE RECPs SPLICED DOWN THE SLOPE MUST BE PLACED END OVER END (SHINGLE STYLE) WITH AN APPROXIMATE 3" (7.5 CM) OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" (30 CM) APART ACROSS ENTIRE RECPs WIDTH. NOTE: IN LOOSE SOIL CONDITIONS, THE USE OF STAPLE R STAKE LENGTHS GREATER THAN 6" (15 CM) MAY BE NECESSARY TO PROPERLY SECURE THE RECPs.

**SOD APPLICATION DETAIL**  
(NO SCALE)



NOTE: THE DANDY SACK™ WILL BE MANUFACTURED IN THE U.S.A. FROM A WOVEN MONOFILAMENT FABRIC THAT MEETS OR EXCEEDS THE FOLLOWING SPECIFICATIONS:

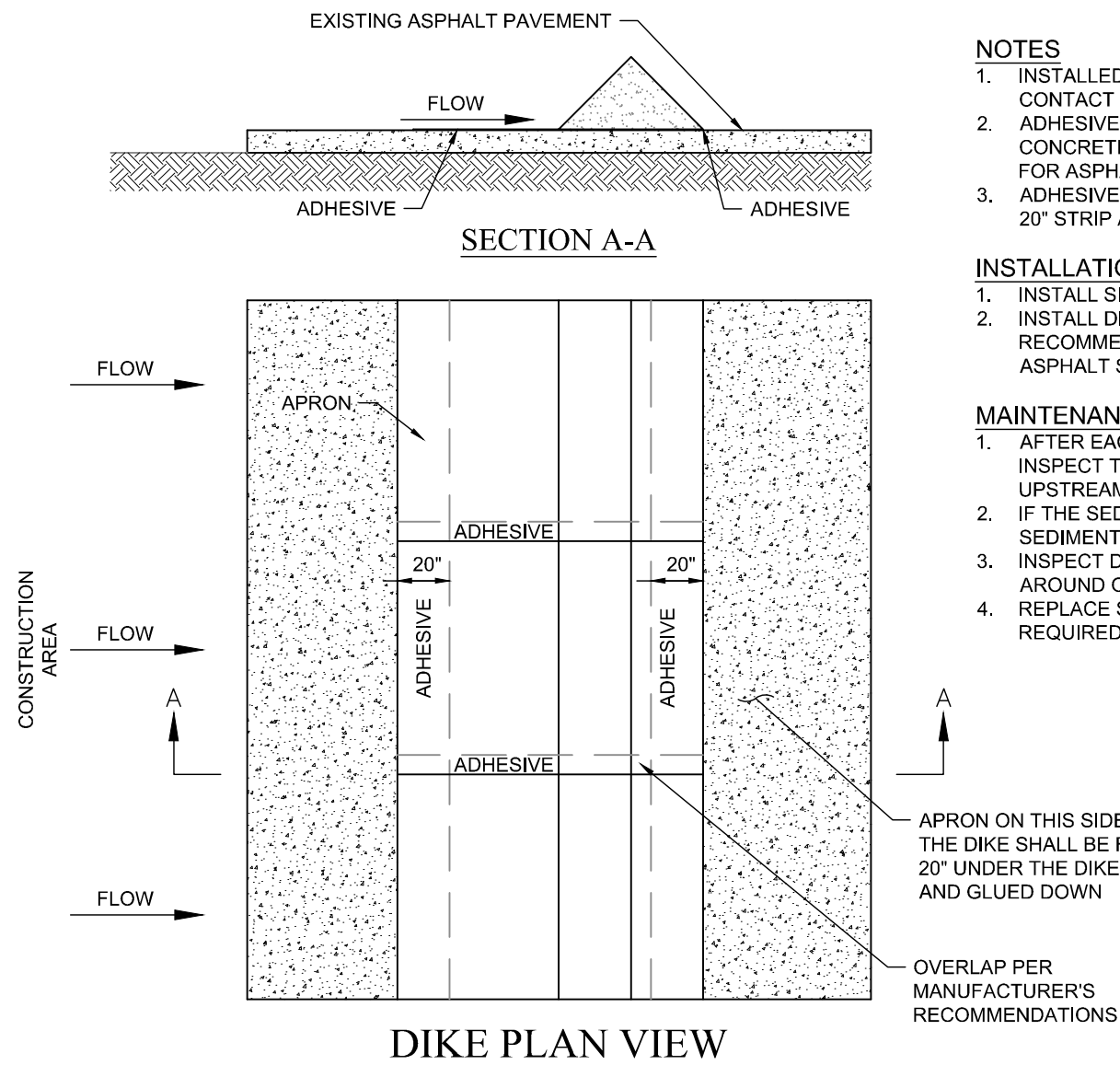
Mechanical Properties	Test Method	Units	MARV
Grab Tensile Strength	ASTM D 4632	kN (lbs)	1.78 (400) x 1.40 (315)
Grab Tensile Elongation	ASTM D 4632	%	15 x 15
Puncture Strength	ASTM D 4833	kN (lbs)	0.67 (150)
Mullen Burst Strength	ASTM D 3786	kPa (psi)	5506 (800)
Trapezoid Tear Strength	ASTM D 4533	kN (lbs)	0.67 (150) x 0.73 (165)
UV Resistance	ASTM D 4355	%	90
Apparent Opening Size	ASTM D 4751	Mm (US Std Sieve)	0.425 (40)
Flow Rate	ASTM D 4491	1/min/m <sup>2</sup> (gal/min/ft <sup>2</sup> )	2852 (70)
Permittivity	ASTM D 4491	Sec-1	0.90

Mechanical Properties	Test Method	Units	MARV
Grab Tensile Strength	ASTM D 4632	kN (lbs)	1.62 (365) X 0.89 (200)
Grab Tensile Elongation	ASTM D 4632	%	24 X 10
Puncture Strength	ASTM D 4833	kN (lbs)	0.40 (90)
Mullen Burst Strength	ASTM D 3786	kPa (psi)	3287 (450)
Trapezoid Tear Strength	ASTM D 4533	kN (lbs)	0.51 (115) X 0.33 (75)
UV Resistance	ASTM D 4355	%	90
Apparent Opening Size	ASTM D 4751	Mm (US Std Sieve)	0.425 (40)
Flow Rate	ASTM D 4491	1/min/m <sup>2</sup> (gal/min/ft <sup>2</sup> )	5907 (145)
Permittivity	ASTM D 4491	Sec-1	2.1

## DETAIL OF DROP INLET SEDIMENT CONTROL DEVICE

INSTALLATION: REMOVE THE GRATE FROM CATCH BASIN. IF USING OPTIONAL OIL ABSORBENTS, PLACE ABSORBENT PILLOW IN UNIT. STAND THE GRATE ON END. MOVE THE TOP LIFTING STRAPS OUT OF THE WAY AND PLACE THE GRATE INTO THE DANDY BAG#11 SO THAT THE GRATE IS BELOW THE TOP STRAPS AND ABOVE THE LOWER STRAPS. HOLDING THE LIFTING DEVICES, INSERT THE GRATE INTO THE INLET.

MAINTENANCE: REMOVE ALL ACCUMULATED SEDIMENT AND DEBRIS FROM VICINITY OF UNIT AFTER EACH STORM EVENT. AFTER EACH STORM EVENT AND AT REGULAR INTERVALS, LOOK INTO THE DANDY BAG#11. IF THE CONTAINMENT AREA IS MORE THAN 1/3 FULL OF SEDIMENT, THE UNIT MUST BE EMPTIED. TO EMPTY UNIT, LIFT THE UNIT OUT OF THE INLET USING THE LIFTING STRAPS AND REMOVE THE GRATE. IF USING OPTIONAL OIL ABSORBENTS, REPLACE ABSORBENT WHEN NEAR SATURATION.



- NOTES**
- INSTALLED SILT DIKE UNIT SHALL HAVE CONTINUOUS AND FIRM CONTACT WITH PAVEMENT.
  - ADHESIVES SHALL BE LIQUID NAIL OR APPROVED EQUAL FOR CONCRETE PAVEMENT APPLICATIONS AND EMULSIFIED ASPHALT FOR ASPHALT APPLICATIONS.
  - ADHESIVE SHALL BE PLACED WHERE THE UNITS OVERLAP AND A 20" STRIP ALONG BOTH EDGES.

- INSTALLATION**
- INSTALL SILT DIKE PER THE PLAN LOCATIONS.
  - INSPECT THE SILT DIKES AND LEVEL OF SEDIMENT PRESENT UPSTREAM OF THE DIKE.
  - IF THE SEDIMENT IS 1/2 THE HEIGHT OF THE DIKE, REMOVE SEDIMENT AND DISPOSE OF IN AN APPROVED LOCATION.
  - INSPECT DIKE TO ENSURE STORMWATER FLOW IS NOT FLOWING AROUND OR UNDER THE DIKE.
  - REPLACE SATURATED OR REPAIR TORN OR DAMAGED DIKES AS REQUIRED.

- MAINTENANCE**
- AFTER EACH STORM EVENT AND AT WEEKLY INTERVALS, INSPECT THE SILT DIKES AND LEVEL OF SEDIMENT PRESENT UPSTREAM OF THE DIKE.
  - IF THE SEDIMENT IS 1/2 THE HEIGHT OF THE DIKE, REMOVE SEDIMENT AND DISPOSE OF IN AN APPROVED LOCATION.
  - INSPECT DIKE TO ENSURE STORMWATER FLOW IS NOT FLOWING AROUND OR UNDER THE DIKE.
  - REPLACE SATURATED OR REPAIR TORN OR DAMAGED DIKES AS REQUIRED.

- APRON ON THIS SIDE OF THE DIKE SHALL BE FOLDED 20" UNDER THE DIKE SECTION AND GLUED DOWN
- OVERLAP PER MANUFACTURER'S RECOMMENDATIONS

- INSTALLATION**
- LAY OUT THE LOCATION OF THE FENCE SO THAT IT IS PARALLEL TO THE CONTOUR OF THE SLOPE AND AT LEAST 10 FEET BEYOND THE TOE OF THE SLOPE TO PROVIDE A SEDIMENT STORAGE AREA. TURN THE ENDS OF THE FENCE UP SLOPE SUCH THAT THE POINT OF CONTACT BETWEEN THE GROUND AND THE BOTTOM OF THE FENCE END TERMINATES AT A HIGHER ELEVATION THAN THE TOP OF THE FENCE AT ITS LOWEST POINT.
  - EXCAVATE AN EIGHT-INCH DEEP BY FOUR-INCH WIDE TRENCH ALONG THE ENTIRE LENGTH OF THE FENCE LINE. INSTALLATION BY PLOWING IS ALSO ACCEPTABLE.
  - INSTALL THE SILT FENCE WITH THE FILTER FABRIC LOCATED ON THE UP-SLOPE SIDE OF THE EXCAVATED TRENCH AND THE SUPPORT POSTS ON THE DOWN-SLOPE SIDE OF THE TRENCH.
  - DRIVE THE SUPPORT POSTS AT LEAST 18 INCHES INTO THE GROUND, TIGHTLY STRETCHING THE FABRIC BETWEEN THE POSTS AS EACH IS DRIVEN INTO THE SOIL. MINIMUM OF 12 INCHES OF THE FILTER FABRIC SHOULD EXTEND INTO THE TRENCH.
  - LAY THE LOWER FOUR INCHES OF FILTER FABRIC ON THE BOTTOM OF THE TRENCH AND EXTEND IT TOWARD THE UP-SLOPE SIDE OF THE TRENCH.
  - BACKFILL THE TRENCH WITH SOIL MATERIAL AND COMPACT IT IN PLACE.

**NOTE:** IF THE SILT FENCE IS BEING CONSTRUCTED ON-SITE, ATTACH THE FILTER FABRIC TO THE SUPPORT POSTS AND ATTACH WOODEN LATHE TO SECURE THE FABRIC TO THE POSTS. ALLOW FOR AT LEAST 12 INCHES OF FABRIC BELOW GROUND LEVEL. COMPLETE THE SILT FENCE INSTALLATION, FOLLOWING STEPS 1 THROUGH 6 ABOVE.

- MAINTENANCE**
- INSPECT WITHIN 24 HOURS OF A RAIN EVENT AND AT LEAST ONCE EVERY SEVEN CALENDAR DAYS.
  - IF FENCE FABRIC TEARS, STARTS TO DECOMPOSE, OR IN ANY WAY BECOMES INEFFECTIVE, REPLACE THE AFFECTED PORTION IMMEDIATELY. NOTE: ALL REPAIRS SHOULD MEET SPECIFICATIONS AS OUTLINED WITHIN THIS MEASURE.
  - REMOVE DEPOSITED SEDIMENT WHEN IT IS CAUSING THE FILTER FABRIC TO BULGE OR WHEN IT REACHES ONE-HALF THE HEIGHT OF THE FENCE AT ITS LOWEST POINT. WHEN CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED, REMOVE THE FENCE AND SEDIMENT DEPOSITS. GRADE THE SITE TO BLEND WITH THE SURROUNDING AREA, AND STABILIZE.

REFERENCE IN CHAPTER 7 PAGES 215-221 IN THE INDIANA STORM WATER QUALITY MANUAL.



- NOTES:**
- THE SWPPP INFORMATION SIGN MUST BE LOCATED NEAR THE CONSTRUCTION EXIT OF THE SITE, SUCH THAT IT IS ACCESSIBLE AND VIEWABLE BY THE GENERAL PUBLIC, BUT NOT OBSTRUCTING VIEWS AS TO CAUSE A SAFETY HAZARD.
  - ALL POSTED DOCUMENTS MUST BE MAINTAINED IN A CLEARLY READABLE CONDITION AT ALL TIMES THROUGHOUT CONSTRUCTION AND UNTIL THE NOTICE-OF-TERMINATION (NOT) IS FILED FOR THE PERMIT.
  - CONTRACTOR SHALL POST OTHER STORM WATER AND/OR EROSION AND SEDIMENT CONTROL RELATED PERMITS ON THE SIGN AS REQUIRED BY THE GOVERNING AGENCY.
  - SIGN SHALL BE LOCATED OUTSIDE OF PUBLIC RIGHT-OF-WAY AND EASEMENTS UNLESS APPROVED BY THE GOVERNING AGENCY.
  - CONTRACTOR IS RESPONSIBLE FOR ENSURING STABILITY OF THE SWPPP INFORMATION SIGN.

## SWPPP INFORMATION SIGN

- NOTES**
- ACTUAL LAYOUT DETERMINED IN FIELD.
  - THE CONCRETE WASHOUT SIGN SHALL BE INSTALLED WITHIN 30FT. OF THE TEMP. CONCRETE WASHOUT FACILITY.

- INSTALLATION**
- UTILIZE AND FOLLOW THE DESIGN IN THE STORM WATER POLLUTION PREVENTION PLAN TO INSTALL THE SYSTEM.
  - DEPENDENT UPON THE TYPE OF SYSTEM, EITHER EXCAVATE THE PIT OR INSTALL THE CONTAINMENT SYSTEM.
  - A BASE SHALL BE CONSTRUCTED AND PREPARED THAT IS FREE OF ROCKS AND OTHER DEBRIS THAT MAY CAUSE TEARS OR PUNCTURES IN THE POLYETHYLENE LINING.
  - INSTALL THE POLYETHYLENE LINING FOR EXCAVATED SYSTEMS, THE LINING SHOULD EXTEND OVER THE ENTIRE EXCAVATION. THE LINING FOR BERMED SYSTEMS SHOULD BE INSTALLED OVER THE POOLING AREA WITH ENOUGH MATERIAL TO EXTEND THE LINING OVER THE BERM OR CONTAINMENT SYSTEM. THE LINING SHOULD BE SECURED WITH PINS, STAPLES, OR OTHER FASTENERS.
  - PLACE FLAGS, SAFETY FENCING, OR EQUIVALENT TO PROVIDE A BARRIER TO CONSTRUCTION EQUIPMENT AND OTHER TRAFFIC.
  - PLACE A NON-COLLAPSING, NON-WATER HOLDING COVER OVER THE WASHOUT FACILITY PRIOR TO A PREDICTED RAINFALL EVENT TO PREVENT ACCUMULATION OF WATER AND POSSIBLE OVERFLOW OF THE SYSTEM (OPTIONAL).
  - INSTALL SIGNAGE THAT IDENTIFIES CONCRETE WASHOUT AREAS.
  - POST SIGNS DIRECTING CONTRACTORS AND SUPPLIERS TO DESIGNATED LOCATIONS.
  - WHERE NECESSARY, PROVIDE STABLE INGRESS AND EGRESS (SEE TEMPORARY CONSTRUCTION INGRESS/EGRESS PAD ON PAGE 17) OR ALTERNATIVE APPROACH PAD FOR CONCRETE WASHOUT SYSTEMS.
  - USE A 10 MIL. POLYETHYLENE LINED DUMPSTER AS AN ALTERNATE.

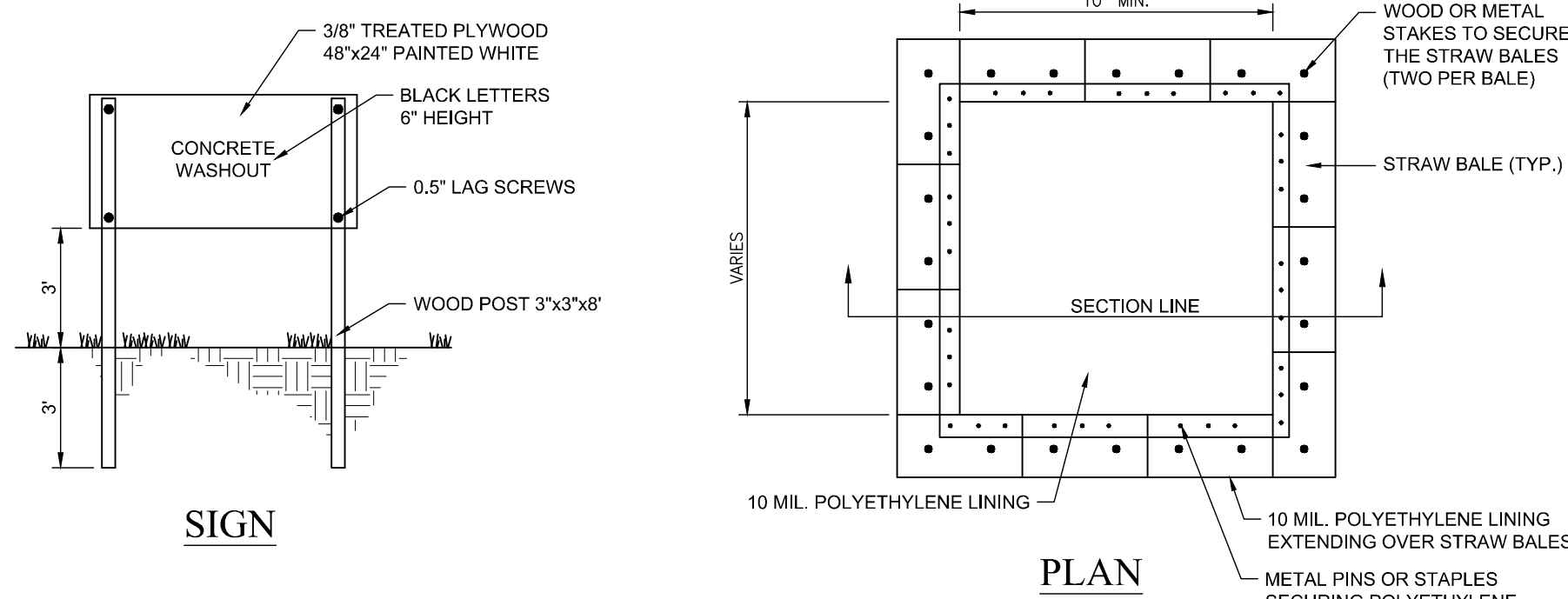
- MAINTENANCE**
- INSPECT DAILY AND AFTER EACH STORM EVENT FOR LEAKS, SPILLS, TRACKING OF SOIL BY EQUIPMENT, AND THE POLYETHYLENE LINING FOR FAILURE.
  - ONCE CONCRETE WASTES HARDEN, REMOVE AND DISPOSE OF THE MATERIAL. EXCESS CONCRETE SHOULD BE REMOVED WHEN THE WASHOUT SYSTEM REACHES 50 PERCENT OF THE DESIGN CAPACITY AND SHOULD NOT BE USED UNTIL PROPERLY CLEANED OUT.
  - PLASTIC LINER SHOULD BE REPLACED AFTER EVERY CLEANING. THE REMOVAL OF MATERIAL USUALLY DAMAGES IT.
  - REPAIR OR ENLARGE AS NECESSARY TO MAINTAIN CAPACITY FOR CONCRETE WASTE.
  - IF LIQUIDS DO NOT EVAPORATE IT MAY BE NECESSARY TO VACUUM OR REMOVE THE LIQUIDS AND DISPOSE OF THEM IN AN ACCEPTABLE METHOD.
  - WHEN CONCRETE WASHOUT SYSTEMS ARE NO LONGER REQUIRED THEY SHALL BE CLOSED AND HOLES, DEPRESSIONS AND OTHER DISTURBANCES ASSOCIATED WITH THE SYSTEM SHOULD BE BACKFILLED, GRADED, AND STABILIZED.

**ALTERNATE**  
CONTRACTOR MAY USE A LINED (10 MIL. POLYETHYLENE) DUMPSTER FOR CONCRETE WASHOUT.

## CONCRETE WASHOUT

TYPE "ABOVE GRADE W/ STRAW BALES"

(NO SCALE)



## SEDIMENTATION/SILT FENCE

(NO SCALE)

LOAD SLOPE	MAX. DISTANCE ABOVE FENCE
LESS THAN 2%	100 FT.
2 TO 5%	75 FT.
5 TO 10%	50 FT.
10 TO 20%	25 FT.
MORE THAN 20%	15 FT.

POSTS: STEEL T OR U TYPE, OR 2"x2" HARD WOOD POST  
FENCE: WOVEN WIRE, 14-1/2 GA. 6" MAX. MESH OPENING  
FABRIC: IN ACCORDANCE WITH ASTM D 6461 LATEST EDITION.

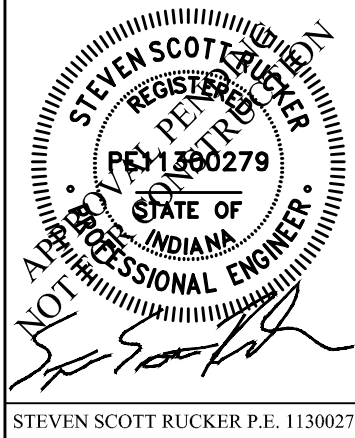
10505 N. College Avenue  
Indianapolis, Indiana 46280  
weihe.net  
317 | 846 - 6611  
800 | 452 - 6408  
317 | 843 - 0546 fax  
ALLAN H. WEIHE, P.E., L.S. - FOUNDER

**WEIHE ENGINEERS**  
Land Surveying | Civil Engineering  
Landscape Architecture  
*Build with confidence.*

PROJECT NO.: W22.0092  
DWG NAME: W220092 CS SWPPP Det  
DESIGNED BY: JIM  
DRAWN BY: JIM  
CHECKED BY: BT  
DATE: 03-07-2022

BY: \_\_\_\_\_  
DATE: \_\_\_\_\_

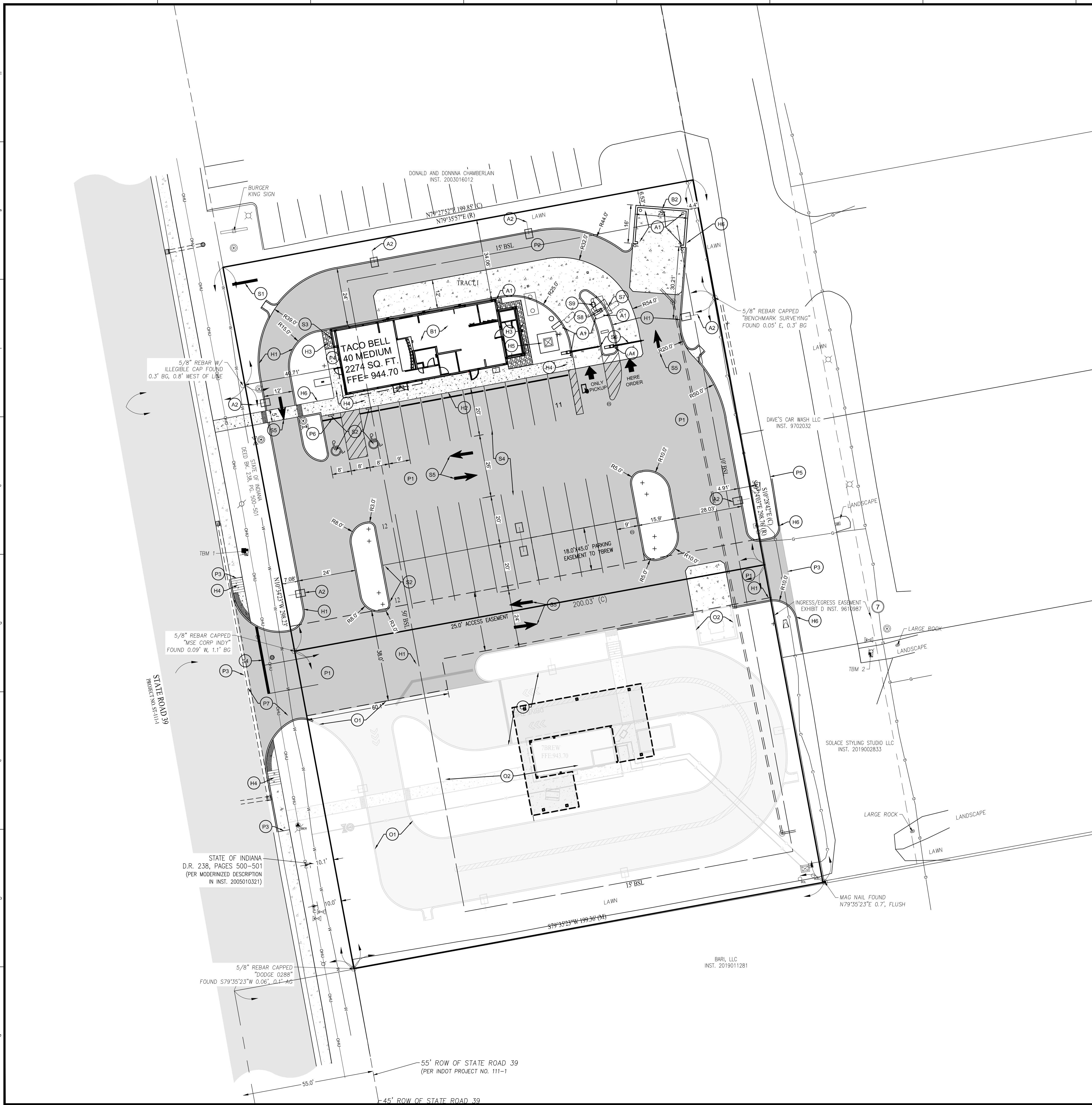
REVISIONS AND ISSUES



STEVEN SCOTT RUCKER P.E. 1330279

PREPARED FOR:  
**PROPOSED TACO BELL**  
- 2437 N LEBANON STREET, LEBANON, INDIANA  
**SWPPP DETAILS**  
SECTION 24, TOWNSHIP 19 NORTH, RANGE 1 WEST, CENTER TOWNSHIP, BOONE COUNTY, INDIANA

SHEET NO.  
**C2.2**  
PROJECT NO.  
**W22.0092**



#### SITE PLAN NOTES

##### PAVEMENT

- (P1) STANDARD ASPHALT PAVEMENT
- (P2) HEAVY DUTY BLACK DYE CONCRETE WITH 1" CHAMFERED CORNERS
- (P3) MATCH EXISTING PAVEMENT
- (P4) CONCRETE WALK
- (P5) EXISTING ASPHALT EDGE
- (P6) PROPOSED CONCRETE PARKING BARRIER
- (P7) DRIVEWAY PAVEMENT PER INDOT STANDARD

##### HARDSCAPE

- (H1) 6" STRAIGHT CURB
- (H2) INTEGRAL WALK AND CURB
- (H3) GRAVEL MOWSTRIP, SEE C10 FOR DETAILS
- (H4) ADA ACCESSIBLE RAMP
- (H5) TRANSFORMER PAD LOCATION, COORD. W/ ELECTRIC CO.
- (H6) TAPER CURB

##### BUILDING STRUCTURES

- (B1) BUILDING
- (B2) DUMPSTER ENCLOSURE

##### ACCESSORIES

- (A1) BOLLARD / PAINTED OSHA "SAFETY YELLOW"
- (A2) LIGHT POLE AND CONCRETE BASE

##### SIGNAGE & MARKINGS

- (S1) PROPOSED TACO BELL FREESTANDING PYLON SIGN
- (S2) ADA PARKING SPACE & SIGNAGE
- (S3) BUILDING SIGNAGE
- (S4) 4" PAINTED WHITE SOLID LINES (TYP)
- (S5) PAINTED YELLOW DIRECTIONAL TRAFFIC ARROWS
- (S6) CLEARANCE BAR
- (S7) DT CANOPY
- (S8) OCB CABINET
- (S9) MENU BOARD
- (S10) PAINTED SAFETY YELLOW CURB

##### WORK TO BE DONE BY TBREW

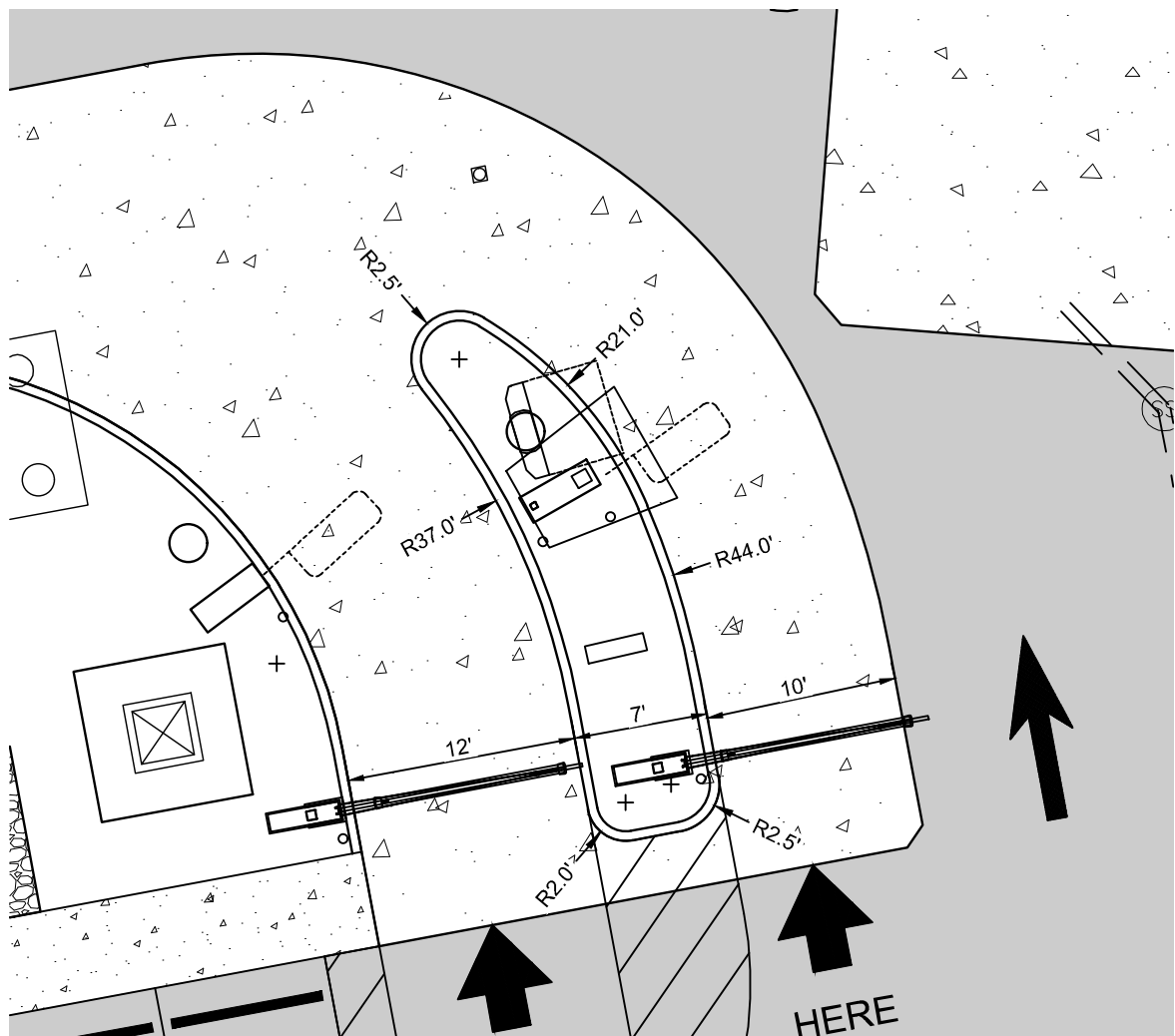
- (O1) PAVEMENT AND CURB
- (O2) BUILDING

#### SITE PLAN GENERAL NOTES

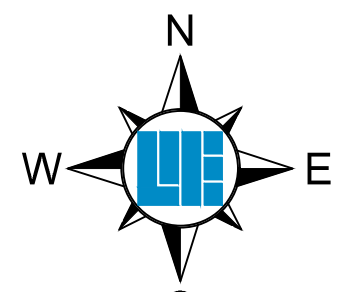
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING, OR VERIFYING THAT ALL PERMITS AND APPROVALS ARE OBTAINED FROM THE RESPECTIVE CITY, COUNTY, AND STATE AGENCIES PRIOR TO STARTING CONSTRUCTION.
- ALL QUANTITIES GIVEN ON THESE PRINTS, VERBALLY OR IN THE SCOPE OF WORK SECTION ARE ESTIMATES AND SHALL BE CONFIRMED BY THE BIDDING CONTRACTORS.
- OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) STANDARDS FOR EXCAVATIONS: FINAL RULE 29 CFR PART 1926, SUBPART "P" APPLIES TO ALL EXCAVATIONS EXCEEDING FIVE (5) FEET IN DEPTH. IN ADDITION, EXCAVATION EXCEEDING TWENTY (20) FEET IN DEPTH REQUIRE THE DESIGN OF A TRENCH SAFETY SYSTEM BY A REGISTERED PROFESSIONAL ENGINEER.
- IT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER AND CONTRACTOR TO MAINTAIN QUALITY CONTROL THROUGHOUT THIS PROJECT.
- TEMPORARY TRAFFIC CONTROL DURING CONSTRUCTION TO CONFORM TO APPLICABLE LOCAL STANDARDS.
- BEARINGS, DIMENSIONS, AND EASEMENTS ARE SHOWN FOR REFERENCE ONLY. SEE RECORD SURVEYS AND PLATS FOR EXACT INFORMATION.
- THE ENGINEER AND/OR OWNER DISCLAIM ANY ROLE IN THE CONSTRUCTION MEANS AND METHODS ASSOCIATED WITH THE PROJECT.
- ALL DIMENSIONS ARE BASED ON FACE OF CURB OR BACK OF ROLL CURB OR FACE OF BUILDING.
- SEE ARCHITECTURAL PLANS FOR DETAILS OF BUILDING, BUILDING DIMENSIONS AND SIGNAGE SPECIFICATIONS. DO NOT STAKE BUILDING FROM THESE PLANS.
- COORDINATE CONSTRUCTION ACTIVITIES WITH ADJOINING WORK IF APPLICABLE. VERIFY EXTENT OF ADJOINING WORK AND COORDINATE AS REQUIRED.
- FIELD VERIFY EXISTING CURBS AND TAPER PROPOSED VERTICAL CURBS TO MATCH WITHIN A MIN. OF THREE (3) FEET.
- ± DIMENSIONS INDICATE FIELD DIMENSION ADJUSTMENT AREA BASED ON ACTUAL FIELD LAYOUT COORDINATES.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD PRIOR TO START OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL FIELD DIMENSIONS. IF ANY DISCREPANCIES ARE FOUND IN THESE PLANS FROM ACTUAL FIELD CONDITIONS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY.
- PROVIDE SMOOTH TRANSITION FROM NEWLY PAVED AREAS TO EXISTING AREAS AS NECESSARY. ALL AREAS WHERE PROPOSED PAVEMENT MEETS EXISTING PAVEMENT, THE EXISTING EDGE OF PAVEMENT SHALL BE FREE OF ALL LOOSE DEBRIS. THE EDGE OF EXISTING ASPHALT PAVEMENT SHALL BE PROPERLY SEALED WITH A TACK COAT MATERIAL IN ALL AREAS WHERE NEW ASPHALT PAVEMENT IS INDICATED TO JOIN EXISTING.
- SURFACE OR RECONSTRUCT AT LEAST TO ORIGINAL CONDITIONS ALL AREAS WHERE THE EXISTING PAVEMENT OR LAWNS ARE DAMAGED DURING CONSTRUCTION FROM TRAFFIC BY CONTRACTORS, SUBCONTRACTORS, OR SUPPLIERS AFTER CONSTRUCTION WORK IS COMPLETE.
- THE CONTRACTOR SHALL PROTECT AND NOT DESTROY THE PROPERTY CORNER MONUMENTS DURING CONSTRUCTION.
- REFER TO ARCHITECTURAL PLANS FOR BUILDING ACCESSORY DETAILS.
- REFER TO SHEET C201 FOR SITE PLAN DETAILS UNLESS OTHERWISE NOTED.

#### SITE DATA

SITE AREA = 1.22 AC  
BUILDING AREA = 2,274 SF  
PERCENT IMPERVIOUS = 53% (75% MAX)  
ZONING = PBC  
FRONT YARD BSL REQUIRED = 50 FT  
REAR SETBACK = 10 FT  
SIDE YARD SETBACK = 15 FT  
PARKING REQUIRED: 23 SPACES  
PARKING REQUIREMENT: 1 PER 2.5 SEATS  
& 1 PER 2 EMPLOYEES AT LARGEST SHIFT  
PARKING REQUIRED = 21 SPACES  
PARKING DIMENSIONS = 9' X 18'  
PARKING PROVIDED (SHARED WITH TBREW):  
STANDARD SPACES = 33  
ADA SPACES = 2  
TOTAL SPACES = 35



DETAILED DRIVE THRU PLAN



PER INDIANA STATE LAW IC 8-1-26, IT IS AGAINST THE LAW TO EXCAVATE WITHOUT NOTIFYING THE UNDERGROUND LOCATION SERVICE TWO (2) WORKING DAYS BEFORE COMMENCING WORK.

10505 N. College Avenue  
Indianapolis, Indiana 46280  
w@weihengr.com

317 | 846 - 6611  
800 | 452 - 6408  
317 | 843 - 0546 fax

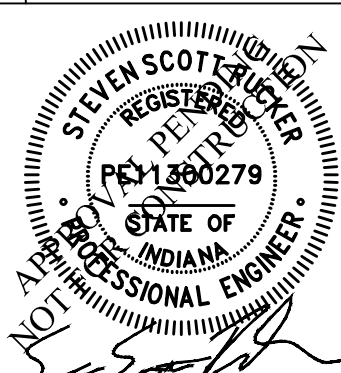
ALLAN H. WEIHE, P.E., L.S. - FOUNDER

**WEIHE ENGINEERS**  
Land Surveying | Civil Engineering  
Landscape Architecture  
*Build with confidence.*

PROJECT NO.: W22.0092  
DWG NAME: W220092\_C4\_Site  
DESIGNED BY: JMM  
DRAWN BY: JMM  
CHECKED BY: BT  
DATE: 03-07-2022

DATE: BY:

REVISIONS AND ISSUES



STEVEN SCOTT RUCKER P.E. 11300279

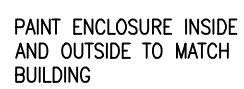
PREPARED FOR:  
**PROPOSED TACO BELL**  
- 2437 N LEBANON STREET, LEBANON, INDIANA  
**SITE PLAN**  
SECTION 24, TOWNSHIP 19 NORTH, RANGE 1 WEST, CENTER TOWNSHIP, BOONE COUNTY, INDIANA

SHEET NO.

**C3**

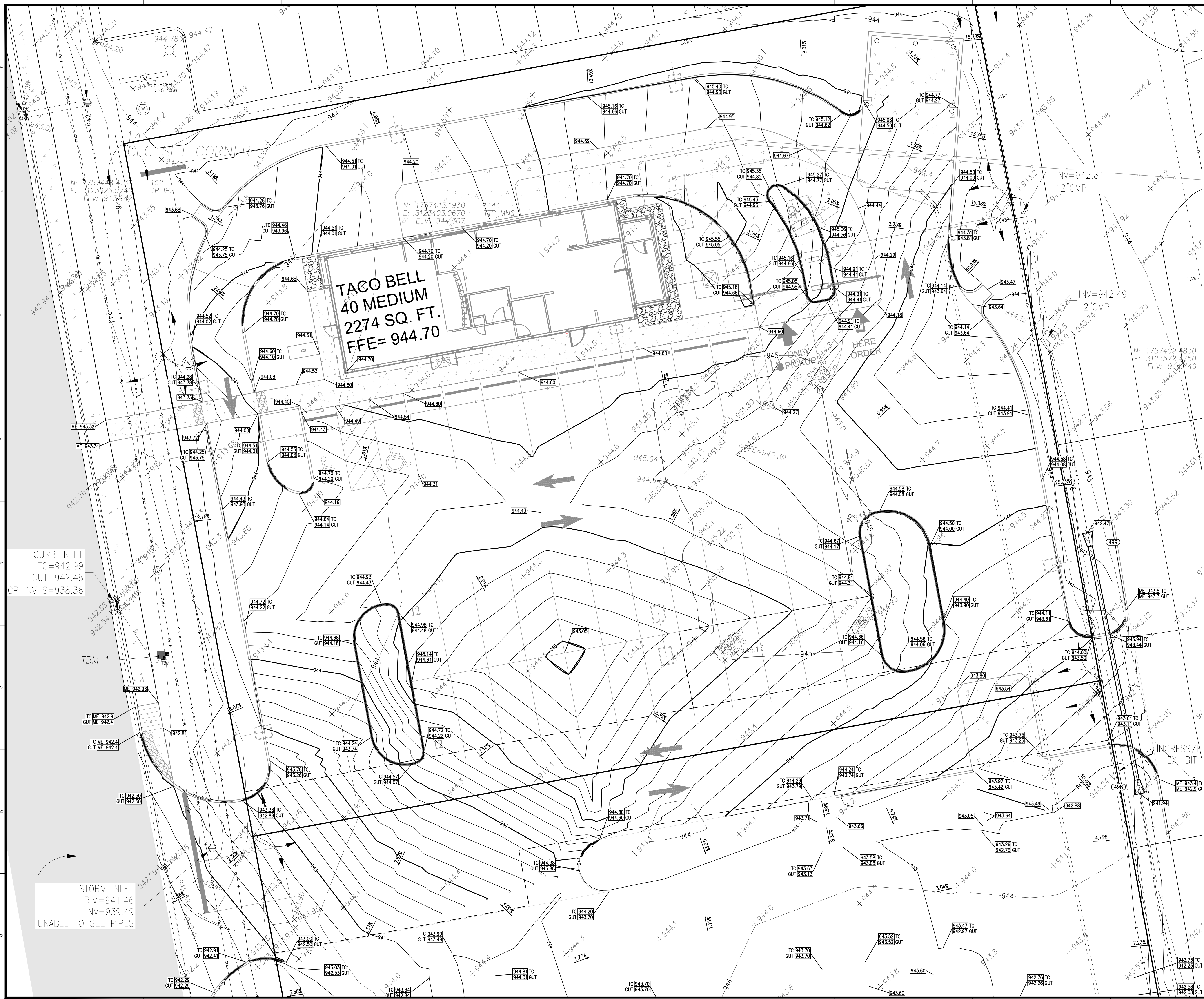
PROJECT NO.

W22.0092

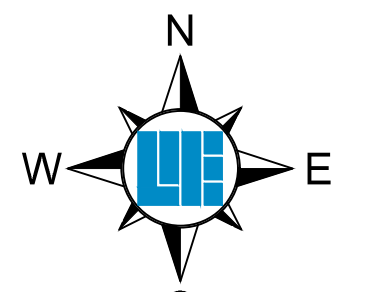




LOCATION: N:\2022\W220092\Grading\Design\W220092\_C61\_Grading\_Detail.dwg  
DATE/TIME: June 07, 2022 - 11:28am  
PLOTTER: B1: mediocrity



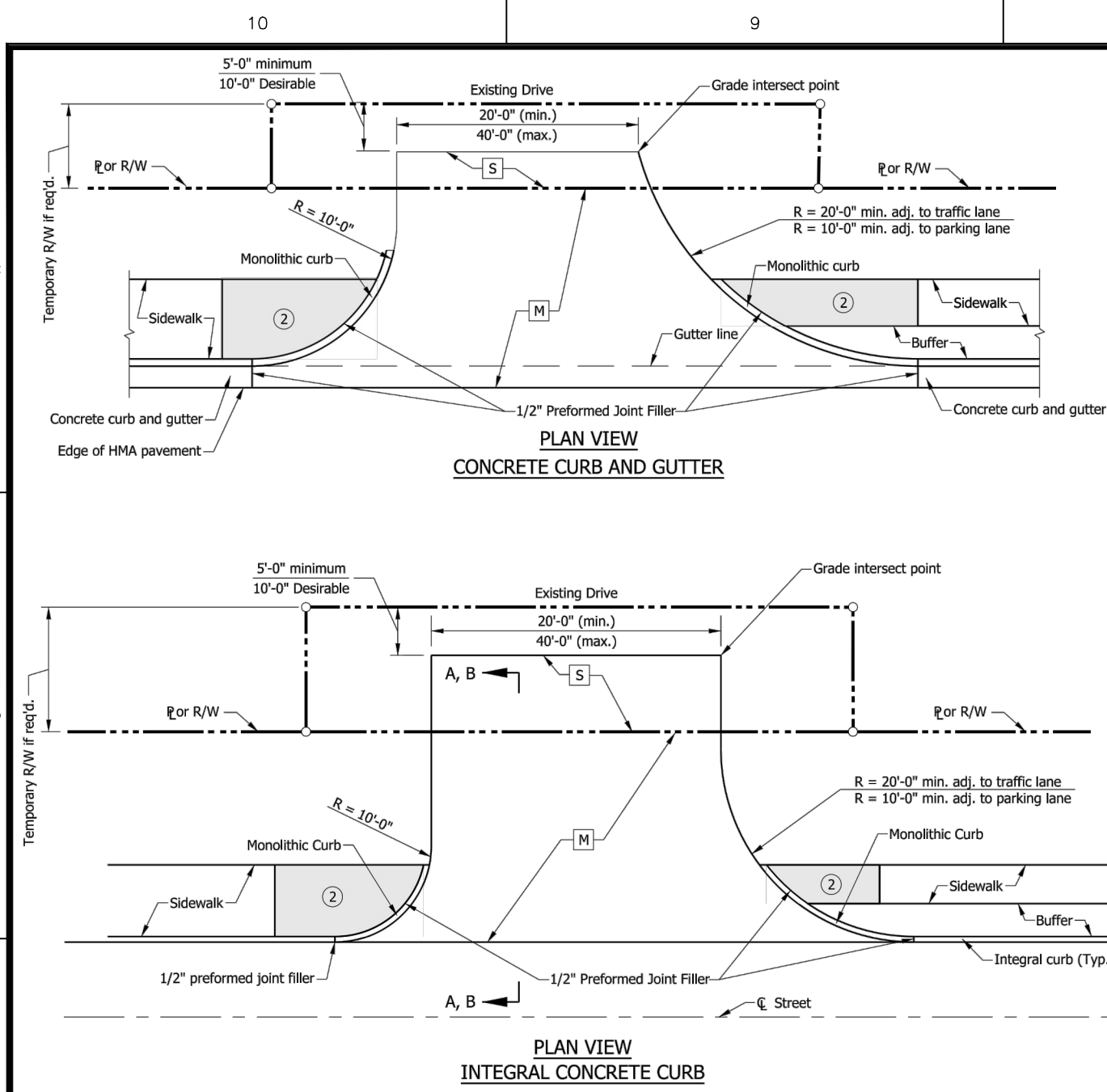
NOTE  
GRADING PLAN SHOWS 0.1/0.5  
GRADING CONTOURS



**811**  
Know what's below.  
Call before you dig.  
Within Indiana Call  
811 or 800-382-5544  
24 hours a Day, 7 Days a Week.  
PER INDIANA STATE LAW IC 8-1-26,  
IT IS AGAINST THE LAW TO EXCAVATE  
WITHOUT NOTIFYING THE UNDERGROUND  
LOCATION SERVICE TWO (2) WORKING  
DAYS BEFORE COMMENCING WORK.

<b>WEIHE ENGINEERS</b> Land Surveying   Civil Engineering Landscape Architecture <i>Build with confidence.</i>		10505 N. College Avenue Indianapolis, Indiana 46280 weihe.net 317   846 - 6611 800   452 - 6408 317   843 - 0546 fax ALLAN H. WEIHE, P.E., L.S. - FOUNDER			
PROJECT NO.: W22.0092	DWG NAME: Grading Detail	DESIGNED BY: JM	DRAWN BY: JM	CHECKED BY: BT	DATE: 03-07-2022
REVISIONS AND ISSUES					
 STEVEN SCOTT RUCKER P.E. 13300279					
PREPARED FOR: <b>PROPOSED TACO BELL</b> - 2437 N LEBANON STREET, LEBANON, INDIANA <b>TACO BELL DETAIL GRADING PLAN</b> SECTION 2A, TOWNSHIP 19 NORTH, RANGE 1 WEST, CENTER TOWNSHIP, BOONE COUNTY, INDIANA					
SHEET NO. <b>C4.1</b> PROJECT NO. W22.0092					

LOCATION: H:\2022\W220092\Engineering\Design\W220092\_C6.1\_Grading\_Detail.dwg  
DATE/TIME: June 07, 2022 - 11:28am  
PLOTED BY: mcdon



- NOTES:
- See Standard Drawing E 610-DRIV-09 for Section A-A, and Section B-B.
  - See Standard Drawing E 604-SWCR-03 for sidewalk driveway crossing details.
  - See Standard Drawing E 610-DRIV-14 for joint placement, monolithic curb, and concrete curb and gutter details.
- LEGEND
- [M] PCIP for Approaches, 9 in., on Dense Graded Subbase, 6 in., on Geogrid Type 1B, on Subgrade Treatment Type II (6 in. Coarse Aggregate No. 53)
- [S] For type and thickness equivalent to surface in place, see plans.
- [ ] Sidewalk elevation transitions.

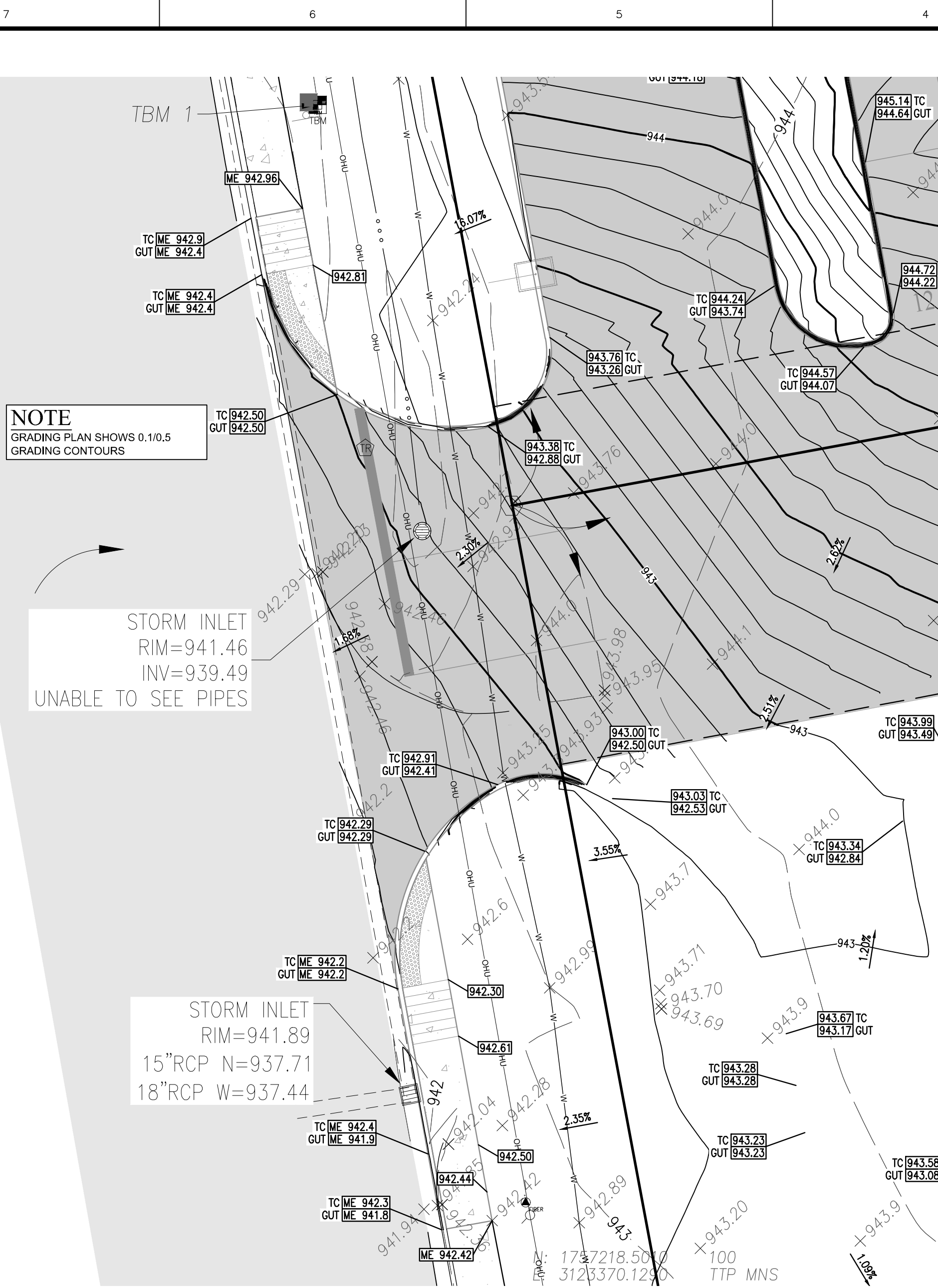
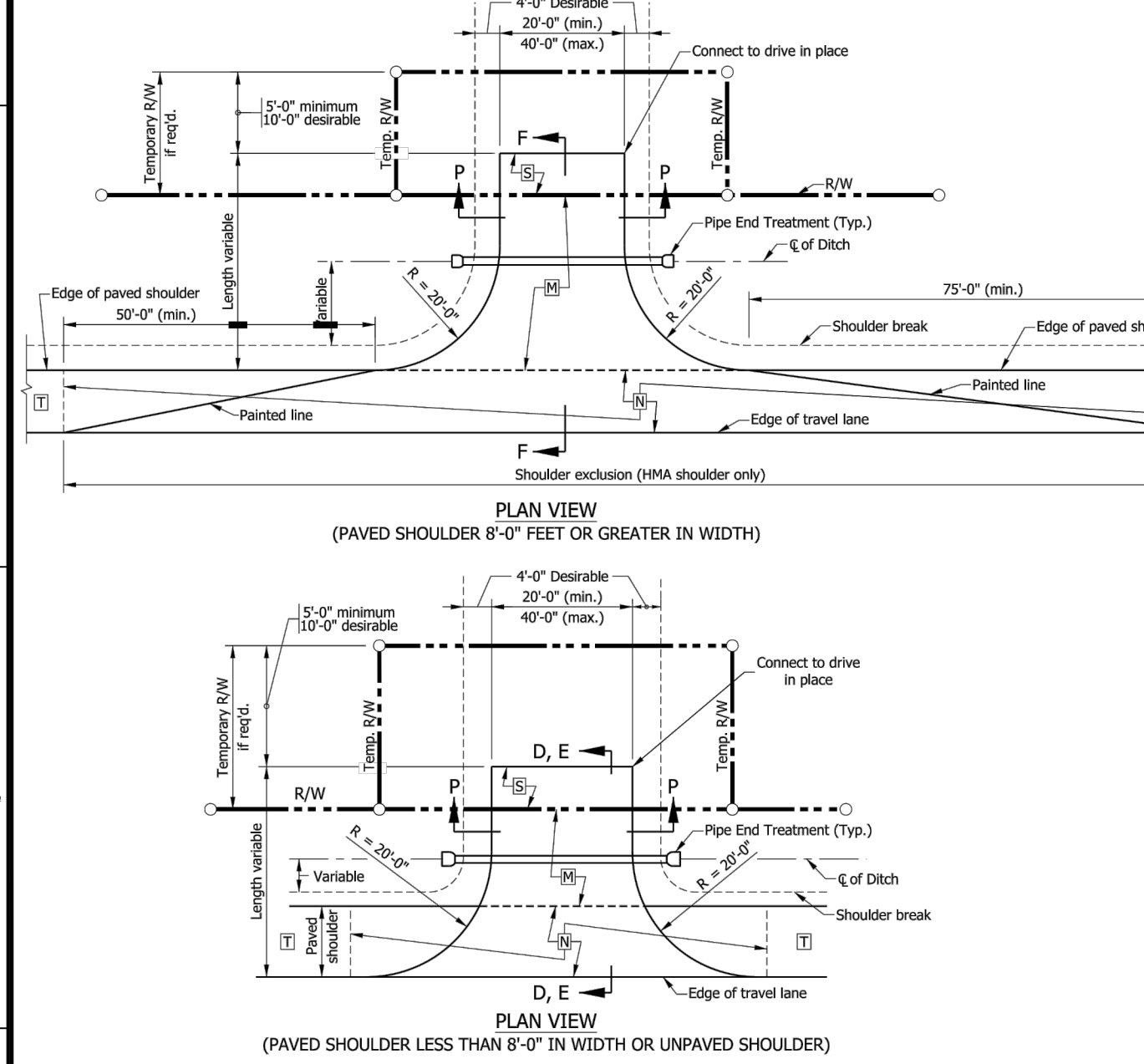
INDIANA DEPARTMENT OF TRANSPORTATION	
CLASS III DRIVE (COMMERCIAL)	
SEPTEMBER 2019	
STANDARD DRAWING NO. E 610-DRIV-04	
DESIGN STANDARDS ENGINEER	5/1/2019 DATE
CHIEF ENGINEER	6/5/2019 DATE

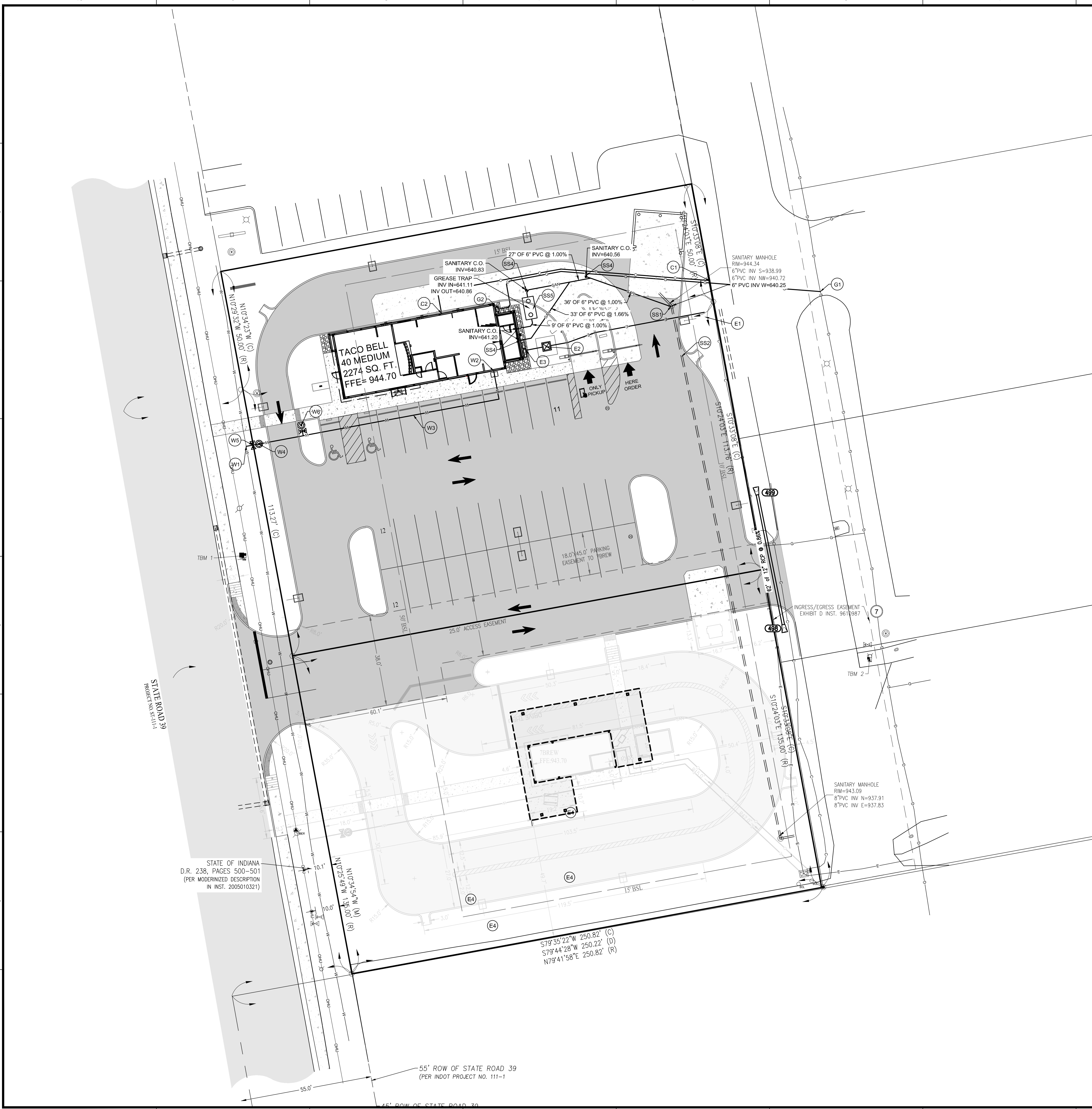
- NOTES:
- See Standard Drawing E 610-DRIV-02 Class I Drive pavement section.
  - See Standard Drawing E 610-DRIV-04 Class III Drive pavement section.
  - See Standard Drawing E 604-SWCR-03 for sidewalk driveway crossing details.
  - The maximum algebraic difference in grades shall not exceed 8% for crest grade nor 12% for sagged grade.
  - See Standard Drawing E 610-DRIV-14 joint placement, monolithic curb, and concrete curb and gutter details.
- LEGEND
- [ ] Curb ramp or sidewalk elevation transition.
- [ ] PCIP

INDIANA DEPARTMENT OF TRANSPORTATION	
CLASS I AND CLASS III DRIVE APPROACH GRADES	
SEPTEMBER 2019	
STANDARD DRAWING NO. E 610-DRIV-09	
DESIGN STANDARDS ENGINEER	5/29/2019 DATE
CHIEF ENGINEER	6/5/2019 DATE

- NOTES:
- See Standard Drawing E 610-DRIV-11 for Sections D-D, E-E and F-F.
  - See Standard Drawing E 610-DRIV-10 for Section P-P.
  - For PCIP Drives, see Standard Drawing E 610-DRIV-14 for joint placement details.
- LEGEND
- [M] HMA for Approaches, Type B, 165 lb/cyd HMA Surface, Type B, on 275 lb/cyd HMA Intermediate, Type B, on 660 lb/cyd HMA Base, Type B, on Subgrade Treatment Type II (6 in. Coarse Aggregate No. 53), on Geogrid, Type 1B
- [N] PCIP for Approaches, 9 in., on Dense Graded Subbase, 6 in., on Geogrid Type 1B on Subgrade Treatment Type II (6 in. Coarse Aggregate No. 53)
- [T] The greater thickness of either the drive [M] or the paved shoulder [T] section.
- [S] For type and thickness equivalent to surface in place, see plans.
- [ ] Plan shoulder section.

INDIANA DEPARTMENT OF TRANSPORTATION	
CLASS IV DRIVE (COMMERCIAL)	
SEPTEMBER 2019	
STANDARD DRAWING NO. E 610-DRIV-05	
DESIGN STANDARDS ENGINEER	5/29/2019 DATE
CHIEF ENGINEER	6/5/2019 DATE





## UTILITY PLAN NOTES

### SANITARY SEWER NOTES

- (SS1) CONNECT PROPOSED 6" SANITARY SEWER LATERAL TO EXISTING SANITARY MANHOLE. COORDINATE CONNECTION WITH MEP. PROVIDE CLEANOUTS AS REQUIRED/SHOWN. VERIFY INVERTS ON EXISTING LINE AND COORDINATE CONDITIONS WITH MEP. ADJUST AS REQUIRED. REFER TO SHEET C8 FOR DETAIL.
- (SS2) EXISTING 8" SANITARY SEWER.
- (SS3) PROPOSED SANITARY LATERAL CLEANOUT (IN LANDSCAPE AREAS WITHIN 3' OF BUILDING). REFER TO DETAIL ON SHEET C5.1.
- (SS4) PROPOSED SANITARY LATERAL CLEANOUT (IN HARDSCAPE AREAS ONLY). REFER TO DETAIL ON SHEET C5.1.
- (SS5) GREASE INTERCEPTOR, REFER TO PLUMBING PLANS FOR DETAILS.

### WATER SERVICE NOTES:

- (W1) COORDINATE & CONNECT 2" PVC TO EXIST. SERVICE LINE @ METER.
- (W2) COORDINATE CONNECTION OF DOMESTIC SERVICE LINE WITH PLUMBING DRAWINGS.
- (W3) PROPOSED 2" PVC DOMESTIC SERVICE LINE
- (W4) 2" WATER METER COORDINATE WITH WATER COMPANY FOR INSTALLATION
- (W5) EXISTING WATER VALVE. ADJUST CASTING TO NEW GRADE
- (W6) 3/4" WATER IRRIGATION METER

### ELECTRIC NOTES:

- (E1) COORDINATE AND CONNECT BUILDING ELECTRICAL LINE FROM EXISTING SERVICE TO TRANSFORMER. COORDINATE CONNECTION WITH POWER COMPANY AND ELECTRICAL DRAWINGS. ADJUST AS REQUIRED. [1-4" EC CONDUITS TO BE INSTALLED WITH PULL STRINGS. 120/208V, 75 KVA THREE PHASE]
- (E2) PROPOSED TRANSFORMER PAD LOCATION. COORDINATE WITH UTILITY PROVIDER.
- (E3) BUILDING ELECTRICAL LINE POINT OF CONNECTION. COORDINATE PVC 4" UNDERGROUND SERVICE THREE PHASE.

### COMMUNICATION NOTES:

- (C1) COORDINATE AND CONNECT BUILDING COMMUNICATION SERVICE LINE(S) TO CONNECTION POINT AS SHOWN. ADJUST AS REQUIRED. [4" PVC CONDUIT TO BE INSTALLED WITH PULL STRINGS. CONTRACTOR TO PROVIDE [6] GROUND WIRE AT THE D-MARC LOCATION. 7 LINES ANTICIPATED FOR SERVICE. (4 PHONE, 1 FO, 1 SECURITY AND 1 FAX/MODEM)]
- (C2) COORDINATE CONNECTION WITH SITE DRAWINGS AND SERVICE PROVIDER.

### GAS SERVICE NOTES:

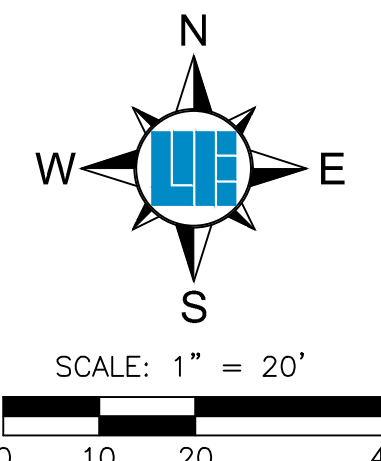
- (G1) CONNECT PROPOSED GAS SERVICE TO EXISTING GAS LINE. REFER TO PLUMBING DRAWINGS AND COORDINATE WITH SERVICE PROVIDER.
- (G2) PROPOSED GAS METER LOCATION. REFER TO PLUMBING DRAWINGS AND COORDINATE WITH SERVICE PROVIDER.

## GENERAL UTILITY NOTES

- THE CONTRACTOR SHALL CONTACT APPLICABLE STATE UNDERGROUND LOCATION SERVICE AT LEAST 72 HOURS PRIOR TO ANY WORK AND SHALL CONTACT THE OWNER AND/OR ENGINEER SHOULD UTILITIES APPEAR TO BE IN CONFLICT WITH THE PROPOSED IMPROVEMENTS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
- THE PLANS SHOW THE LOCATION OF ALL KNOWN UTILITIES LOCATED WITHIN THE LIMITS OF CONSTRUCTION ACCORDING TO INFORMATION PROVIDED BY THE VARIOUS UTILITY COMPANIES, PREVIOUS CONSTRUCTION PLANS AND AS EVIDENCED BY OBSERVATION OF ABOVE GROUND CONDITIONS BY THE SURVEYOR. THE ACCURACY OF THIS INFORMATION IS NOT GUARANTEED.
- THE CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES TO LOCATE MAINS, CONDUITS, SERVICE LINES, ETC. WITHIN THE CONSTRUCTION LIMITS. THE LOCATION AND PROTECTION OF UTILITY STRUCTURES, THEIR SUPPORT AND MAINTENANCE DURING CONSTRUCTION (IN COOPERATION WITH APPLICABLE UTILITY COMPANY) IS THE EXPRESSED RESPONSIBILITY OF THE CONTRACTOR.
- THE CONTRACTOR SHALL CONTACT ALL APPLICABLE UTILITIES AND VERIFY ANY AND ALL FEES ASSOCIATED WITH THE INSTALLATION OF ALL UTILITIES.
- ALL CONSTRUCTION ON THIS SITE TO BE PERFORMED IN COMPLIANCE WITH O.S.H.A. STANDARDS FOR WORKER SAFETY.
- ANY PART OF SANITARY OR STORM SEWER TRENCHES RUNNING UNDER OR WITHIN 5' OF PAVEMENT TO BE BACKFILLED WITH GRANULAR MATERIAL.
- IT IS THE CONTRACTORS RESPONSIBILITY TO VERIFY LOCATION, SIZE, AND ELEVATION OF EXISTING UTILITIES, STRUCTURES, PIPES, PAVEMENTS, ETC. AS RELATED TO THEIR WORK. NOTIFY ENGINEER OF ANY CONFLICT AND/OR DISCREPANCIES IN THE CONSTRUCTION DOCUMENTS.
- MAINTAIN 10' HORIZONTAL AND 18" VERTICAL CLEARANCE BETWEEN STORM / SANITARY SEWER SYSTEMS AND DOMESTIC/FIRE LINE SERVICE. SANITARY SEWER LINE IN PROXIMITY OF WATER LINE SHALL BE C900 WATER MAIN GRADE PVC.
- CONTRACTOR TO INSTALL CONCRETE CRADLES WHEN THE VERTICAL SEPARATION (AS MEASURED FROM THE EXTERIOR OF THE PIPES) BETWEEN SANITARY SEWERS, WATER MAINS AND STORM SEWERS IS 18" OR LESS.
- IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION, IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER.
- WHEN PERFORMING EXCAVATIONS DURING PERIODS OF WET WEATHER, PROVIDE ADEQUATE DEWATERING, DRAINAGE AND GROUND WATER MANAGEMENT TO CONTROL MOISTURE OF SOILS.
- COMPACTED "B" BORROW BACK FILL REQUIRED OVER ALL UTILITIES IN PAVED AREAS.
- ALL UTILITY STRUCTURES IN PAVED AREAS SHALL BE FLUSH WITH PAVEMENT AND SHALL HAVE TRAFFIC BEARING RING AND COVERS.
- PROVIDE THRUST BLOCKS FOR ALL WATER LINE BENDS AND TEES, INCLUDING TAP CONNECTION.
- CONTRACTOR SHALL COORDINATE WITH WATER COMPANY FOR DOMESTIC AND FIRE SERVICE. CONNECT TO BUILDING DOMESTIC AND FIRE LINE. COORDINATE WITH PLUMBING DRAWINGS.
- COORDINATE LOCATION OF ELECTRICAL AND COMMUNICATION LINES WITH LOCAL UTILITIES.
- COORDINATE LOCATION OF REQUIRED CONDUITS FOR ELECTRIC SERVICE, LIGHT POLES, COMMUNICATION SERVICE AND IRRIGATION SYSTEM.
- COORDINATE LOCATION AND SIZE OF GAS SERVICE CONNECTION AND INSTALLATION OF SERVICE LINE AND METER WITH GAS COMPANY.
- COORDINATE LOCATIONS AND CONNECTIONS OF BUILDING STORM LINES WITH PLUMBING DRAWINGS.
- FOLLOW ALL LOCAL AND STATE CODES IN REFERENCE TO DOMESTIC/FIRE LINE INSTALLATION AND STORM SEWER / SANITARY SEWER INSTALLATION.
- SANITARY SEWER LATERAL, WATER SERVICE, & ELECTRICAL/COMMUNICATION CONDUITS SHALL BE GRANULAR BACKFILL FOR ENTIRE RUN.
- ALL EXISTING MANHOLE AND CATCH BASIN GRATES, WATER OR GAS VALVES SHALL BE ADJUSTED TO NEW FINISH GRADE ELEVATIONS.

## UTILITY PLAN LEGEND

UTILITIES		ABBREVIATIONS	
	FIRE HYDRANT		RIGHT OF WAY
	POST INDICATOR VALVE		EASEMENT
	WATER MANHOLE		DRAINAGE AND UTILITY EASEMENT
	WATER METER		FINISH FLOOR ELEVATION
	WATER VALVE		TOP OF CURB
	GAS METER		CORRUGATED METAL PIPE
	GAS VALVE		REINFORCED CONCRETE PIPE
	ELECTRIC MANHOLE		POLYVINYL CHLORIDE PIPE
	ELECTRIC OUTLET		VITRIFIED CLAY PIPE
	ELECTRIC METER		HIGH DENSITY POLYETHYLENE PIPE
	ELECTRIC RISER		DUCTILE IRON PIPE
	TRANSFORMER		SUB SURFACE DRAIN PIPE
	GUY ANCHOR		STORM
	ELECTRIC JUNCTION BOX		SANITARY
	GENERATOR		STRUCTURE
	UTILITY POLE		CLEANOUT
	UTILITY POLE W/ TRANSFORMER		
	MONITORING WELL		
	ORNAMENTAL LIGHT		
	STREET LIGHT		
	PARKING LOT LIGHT (1 HEAD)		
	PARKING LOT LIGHT (2 HEAD)		
	COMMUNICATIONS JUNCTION BOX		
	COMMUNICATIONS MANHOLE		
	COMMUNICATIONS PEDESTAL		
	COMMUNICATIONS RISER		
	TRAFFIC SIGNAL POLE		
	TRAFFIC SIGNAL		
	STORM CLEANOUT		
	BEEHIVE INLET		
	CURB INLET		
	FLOOR DRAIN		
	ROUND INLET		
	SQUARE INLET		
	STORM MANHOLE		
	DOWN SPOUT		
	SANITARY SEWER CLEANOUT		
	SANITARY SEWER MANHOLE		
LINE TYPES		OTHER	
	RIGHT OF WAY LINE		SIGN
	FENCE		POST
	BOUNDARY LINE		GATE POST
	UNDERGROUND GAS		BOLLARD
	UNDERGROUND WATER		PARKING METER
	AERIAL ELECTRIC		PARKING WHEEL STOP
	UNDERGROUND ELECTRIC		HANDICAPPED SPACE
	UNDERGROUND COMMUNICATIONS		
	AERIAL COMMUNICATIONS		
	UNDERGROUND FIBER OPTIC		
	AERIAL FIBER OPTIC CABLE		
	OVERHEAD UTILITY		
	FORCE MAIN		
	SANITARY SEWER LATERAL		
	SANITARY SEWER MAIN		
	STORM SEWER MAIN		



10505 N. College Avenue  
Indianapolis, Indiana 46280  
w@weh.net  
317.846.6611  
800.1452.6408  
317.843.0546 fax  
ALLAN H. WEIHE, P.E., L.S. - FOUNDER

**WEIHE ENGINEERS**  
Land Surveying | Civil Engineering  
Landscape Architecture  
*Build with confidence.*

PROJECT NO.: W220092	DATE: 03-07-2022
BY: [Signature]	DATE: 03-07-2022
DATE: 03-07-2022	DATE: 03-07-2022

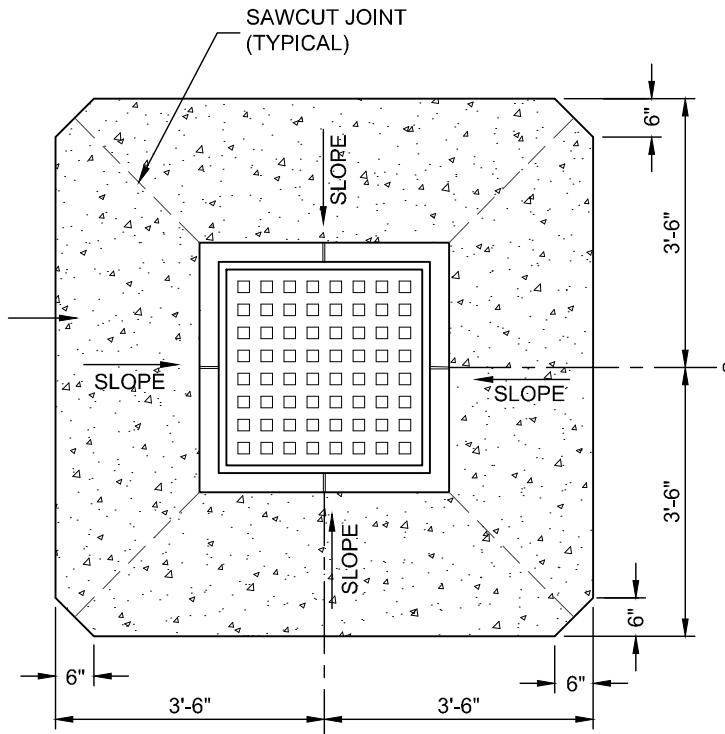
STEVEN SCOTT RUCKER, P.E. 11300279

PREPARED FOR:  
**PROPOSED TACO BELL**  
- 2437 N LEBANON STREET, LEBANON, INDIANA  
**UTILITY PLAN**  
SECTION 2A, TOWNSHIP 19 NORTH, RANGE 1 WEST, CENTER TOWNSHIP, INDIANA

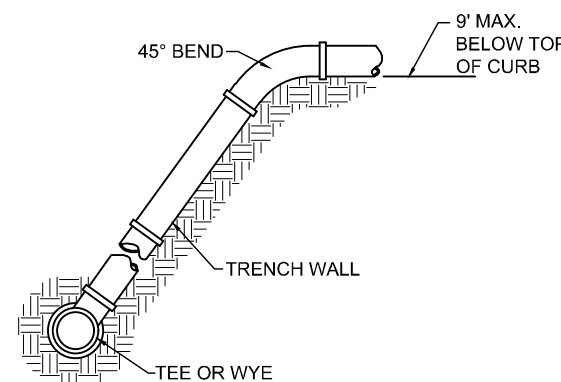
SHEET NO.  
**C5**  
PROJECT NO.  
W22.0092

LOCATION: H:\2022\W220092\Engineering\Design\Consolid\W220092\_C8\_UTILITY.dwg  
DATE/TIME: June 07, 2022 - 11:28am  
PLOTED BY: mcdam

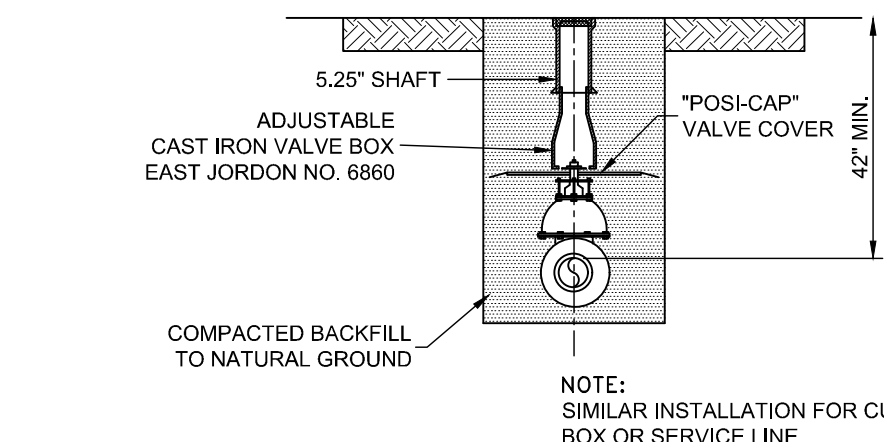
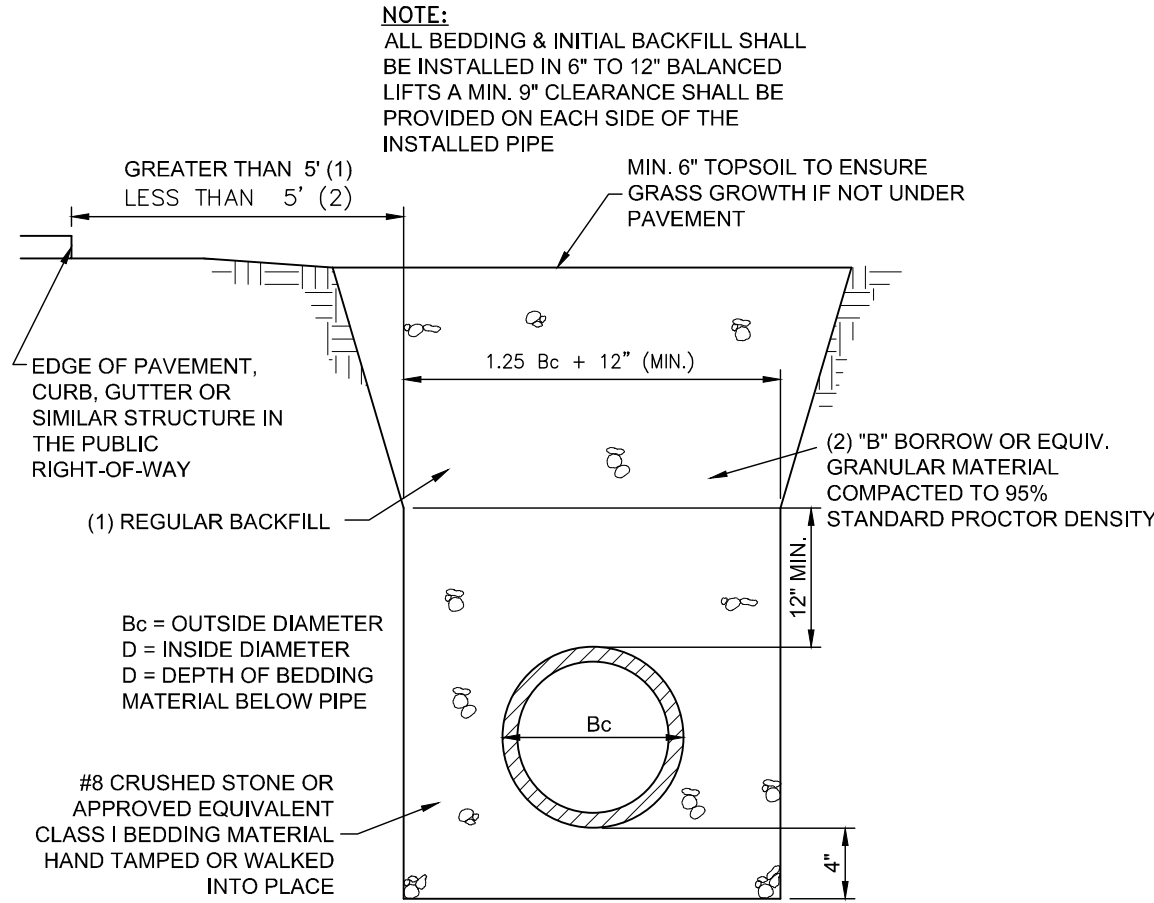
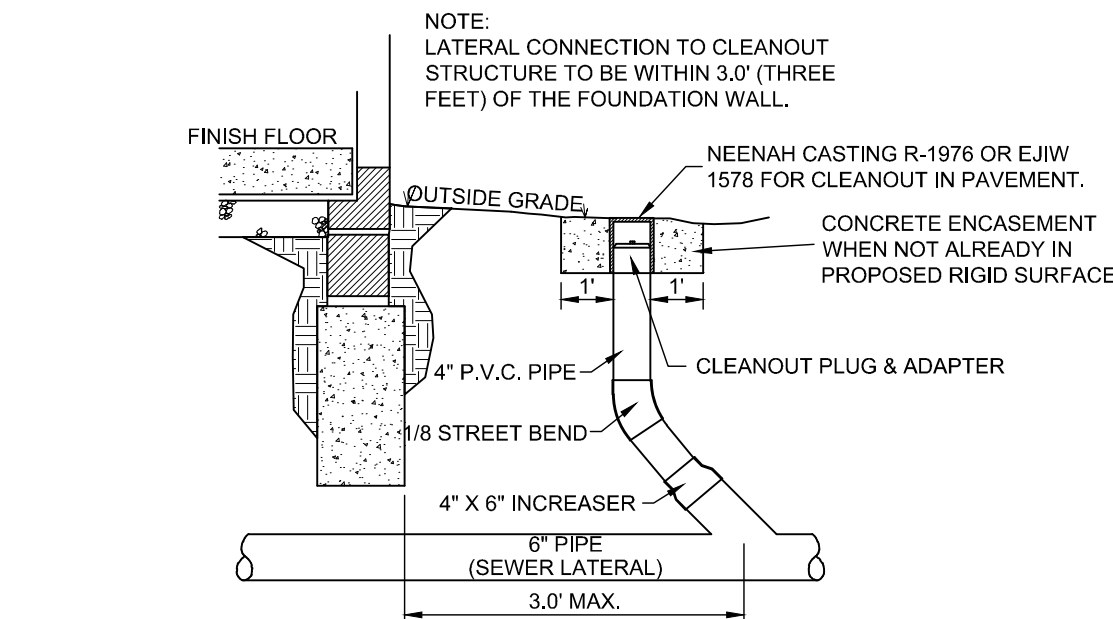
Xref: \W220018.tblk.dwg



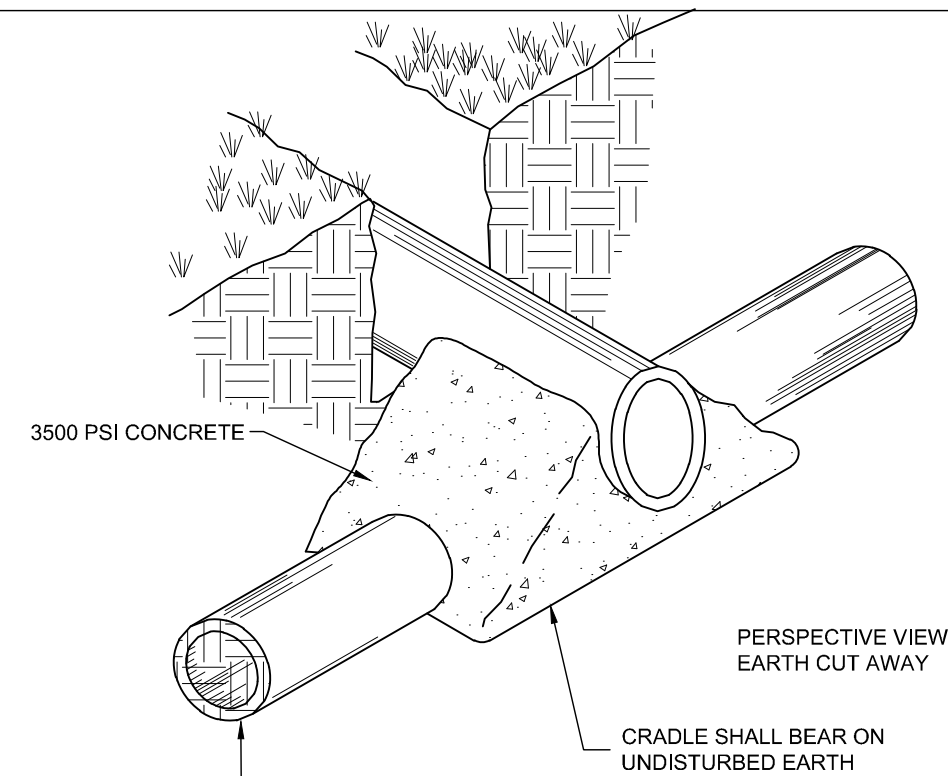
PAVED AREA INLET



SANITARY CONNECTION  
(NO SCALE)



NOTE: TO BE USED WHEN CLEAR DISTANCE (FROM EXTERIOR PIPE DIAMETER TO EXTERIOR PIPE DIAMETER) BETWEEN SANITARY SEWER PIPING (MANS, LATERALS, FORCE MANS, ETC.) AND ALL OTHER PIPES IS 18" OR LESS, PER INSPECTOR'S DIRECTION, OR WHERE NOTED ON THE DRAWINGS. A MINIMUM CLEAR DISTANCE OF 3" MUST BE PROVIDED TO MAINTAIN STRUCTURAL INTEGRITY OF THE CONCRETE.



PROJECT NO.:	W22.0092
DWG NAME:	UTILITY
DESIGNED BY:	JM
DRAWN BY:	JM
CHECKED BY:	BT
DATE:	03-07-2022



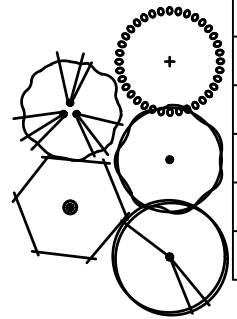
STEVEN SCOTT RUCKER P.E. 13300279

PREPARED FOR:  
**PROPOSED TACO BELL**  
- 2437 N LEBANON STREET, LEBANON, INDIANA  
UTILITY DETAILS  
SECTION 24, TOWNSHIP 19 NORTH, RANGE 1 WEST, CENTER TOWNSHIP, BOONE COUNTY, INDIANA.

SHEET NO.  
**C5.1**  
PROJECT NO.  
W22.0092

**WEIHE ENGINEERS**  
Land Surveying | Civil Engineering  
Landscape Architecture  
*Build with confidence.*

10505 N. College Avenue  
Indianapolis, Indiana 46280  
weihe.net  
317 | 846 - 6611  
800 | 452 - 6408  
317 | 843 - 0546 fax  
ALLAN H. WEIHE, P.E., L.S. - FOUNDER



TACO BELL: PLANT SCHEDULE							
PLAN KEY	BOTANICAL NAME	COMMON NAME	SIZE	QTY.	B&B	CONT.	MATURE SIZE
CANOPY DECIDUOUS TREES							
AfS	ACER FREEMANII 'SCARLET'	SCARLET SENTINEL FREEMAN MAPLE	2" cal.	7	X		40'T x 20'W
OxA	OXYDENDRUM ARBOREUM	SOURWOOD	2" cal.	3	X		30'T x 15'W
QrF	QUERCUS ROBUR 'FASTIGIATA'	COLUMNAR ENGLISH OAK	2" cal.	9	X		50'T x 15'W
TdM	TAXODIUM DISTICHUM 'MICKELSON'	SHAWNEE BRAVE BALD CYPRESS	2" cal.	6	X		60'T x 20'W
UnH	ULMUS x 'NEW HORIZON'	NEW HORIZON HYBRID ELM	2" cal.	2	X		60'T x 20'W

DECIDUOUS SHRUBS							
PcG	PHYSOCARPUS OPULIFOLIUS 'CENTER GLOW'	CENTER GLOW COMMON NINEBARK	#5	18		X	2'T x 3'W
RaG	RHUS AROMATICA 'GROW-LOW'	GRO-LOW FRAGRANT SUMAC	#3	5		X	2'T x 6'W
SgM	SPIRAEA X 'GOLD MOUND'	GOLD MOUND SPIREA	#3	19		X	4'T x 5'W
EVERGREEN SHRUBS							
BgV	BUXUS X KOREANA 'GREEN VELVET'	GREEN VELVET BOXWOOD	#3	8	X		3'T x 3'W
JpS	JUNIPERUS X PFITZERIANA 'SEA GREEN'	SEA GREEN JUNIPER	#5	19	X		4'T x 6'W
TcN	TAXUS CUSPIDATA 'NANA'	DWARF BREVIFOLIA YEW	#3	16	X		4'T x 4'W
ORNAMENTAL GRASSES							
AhL	ASIATIC HYBRID LILY	LILIUM SPECIES	#5	3		X	3'T x 1'W
FgE	FESTUCA GLAUCA 'ELIJAH BLUE'	ELIJAH BLUE FESCUE	#3	7		X	1.5'T x 1.5'W
YuF	YUCCA FILAMENTOSA	COLOR GUARD YUCCA	#5	3		X	3'T x 3'W

OVERALL LANDSCAPE ORDINANCE REQUIREMENTS		
REQUIREMENT:	REQUIRED:	PROVIDED:
<b>TACO BELL</b>  7.8.J.3 - PARKING LOT PERIMETER LANDSCAPING - 5' PERIMETER LANDSCAPED AREA AROUND ENTIRE PARKING LOT - TYPE C BUFFER: 5' WIDE, 3' CONTINUOUS SHRUB SCREEN, 3 SHADE TREES & 10 SHRUBS FOR EVERY 100' - 500' OF PARKING PERIMETER - 3' HIGH CONTINUOUS SCREEN OF SMALL SHRUBS WHERE ADJACENT TO ROW OR RESIDENTIAL. 50% OF SHRUBS SHALL BE EVERGREEN - BROADLEAF TREE FOR EVERY 1,000 OF YARD AREA - 6,820 SF  STREET TREE - STREET TREES ARE REQUIRED EVERY 40' WITHIN THE RIGHT-OF-WAY - 180 LF STREET FRONTAGE  6.1.L.3.C - CORRIDOR BUFFER SETBACK (THOROUGHFARE BUFFER PLANTING) - 6 TREES AND 15 SHRUBS FOR EVERY 100 LF - LEBANON STREET = 170 LF  7BREW  7.8.J.3 - PARKING LOT PERIMETER LANDSCAPING - 5' PERIMETER LANDSCAPED AREA AROUND ENTIRE PARKING LOT - TYPE C BUFFER: 5' WIDE, 3' CONTINUOUS SHRUB SCREEN, 3 SHADE TREES & 10 SHRUBS FOR EVERY 100' - 450' OF PARKING PERIMETER - 3' HIGH CONTINUOUS SCREEN OF SMALL SHRUBS WHERE ADJACENT TO ROW OR RESIDENTIAL. 50% OF SHRUBS SHALL BE EVERGREEN - BROADLEAF TREE FOR EVERY 1,000 OF YARD AREA - 10,666 SF  STREET TREE - STREET TREES ARE REQUIRED EVERY 40 FEET WITHIN THE RIGHT-OF-WAY - 70 LF STREET FRONTAGE  6.1.L.3.C - CORRIDOR BUFFER SETBACK (THOROUGHFARE BUFFER PLANTING) - 6 TREES AND 15 SHRUBS FOR EVERY 100 LF - LEBANON STREET = 70 LF  7.8.J.2 - PARKING LOT INTERIOR LANDSCAPING 1. 5% OF GROSS AREA OF INTERIOR VEHICULAR USE AREA SHALL BE LANDSCAPED, DISTRIBUTED EVENLY THROUGH OUT THE PARKING LOT - 5% OF 20,454 SF = 1,022.7 SF - LANDSCAPE ISLAND MUST BE 100% VEGETATED - 1 SHADE TREE PER 180 SF OF REQUIRED INTERIOR LANDSCAPED AREA, SPACED 100' APART (MAX) - 1022.7 SF / 180 SF  6.1.I.3.D - BUILDING BASE LANDSCAPING - PLANTINGS SHALL BE ON ALL SIDES OF A BUILDING OR STRUCTURE. PLANTINGS SHALL CONSTITUTE 75% OF THE BUILDING'S PERIMETER EXCLUDING ENTRYWAYS AND SERVICE BAYS. 5' SHALL BE THE MINIMUM AVERAGE WIDTH COMPOSED OF SHRUBS, GROUND COVER, AND ORNAMENTAL GRASSES IN ADDITION TO TURF. TREES ARE ENCOURAGE IN LARGER PLANTING SPACES.	<b>TACO BELL</b>  7.8.J.3 - PARKING LOT PERIMETER - 15 TREES - 50 SHRUBS  STREET TREES - 5 TREES  6.1.L.3.C - CORRIDOR BUFFER - 10 TREES - 26 SHRUBS  7BREW  7.8.J.3 - PARKING LOT PERIMETER - 14 TREES - 45 SHRUBS  STREET TREES - 2 TREES  6.1.L.3.C - CORRIDOR BUFFER - 4 TREES - 11 SHRUBS  - 6 TREES  - 6 TREES  -SEE PLAN  -SEE PLAN	<b>TACO BELL &amp; 7BREW TOTAL LANDSCAPE PROVIDED:</b>  - 50 TREES - 165 SHRUBS

#### TACO BELL NOTE

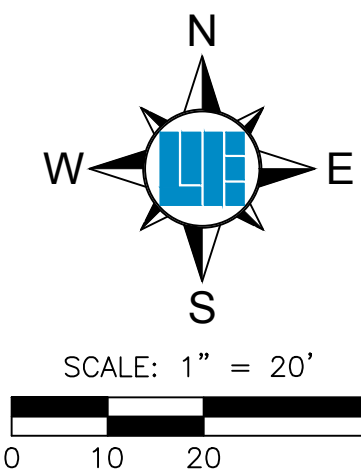
- GRAVEL MULCH SHALL BE CONTINUOUS TO EDGE OF STEEL BORDER & CONCRETE CURB, AS WELL AS UNDER ALL PLANTS.
- PROVIDE WEED BARRIER UNDER GRAVEL MULCH.
- PROVIDE AN INDUSTRY STANDARD DRIP IRRIGATION SYSTEM APPROPRIATE FOR THE SELECTED REGION AND PLANTINGS TYPES.
- PLANTS SHALL BE PLANTED PER REGIONAL BEST PRACTICES INCLUDING BUT NOT LIMITED TO SUPPORT, DEPTH/WIDTH OF PLANTING HOLE, AND SOIL AMENDMENTS.
- SEE SHEET BY OTHERS FOR ADDITIONAL TACO BELL SPECIFIC DETAILS INCLUDING THE MENU BOARD, ENTRY PORTAL AND OCCUPANCY.

#### LANDSCAPE PLAN NOTES

- SOD (ALTERNATE) - ALL SOD SHALL BE CERTIFIED GRADE CULTIVATED GRASS SOD, OF 'ADVENTURE BLEND' TURF TYPE TALL FESCUE (BY GENERAL CONTRACTOR)
- LIMESTONE BOULDER, SAND-GRAY - 6" TO 24"

#### LANDSCAPE LEGEND

	MULCHED LANDSCAPE BEDS
	SEED / SOD
	LIMESTONE BOULDER, SAND-GRAY - 6" TO 24"
	PLANT NAME QUANTITY PLANTING AREA



10505 N. College Avenue  
Indianapolis, Indiana 46280  
weihe.net  
317 | 846 - 6611  
800 | 452 - 6408  
317 | 843 - 0546 fax  
ALLAN H. WEIHE, P.E., L.S. - FOUNDER

**WEIHE ENGINEERS**  
Land Surveying | Civil Engineering  
Landscape Architecture  
*Build with confidence.*

PROJECT NO.:	W22.0092
DWG NAME:	W220092_C6_Landscape
DESIGNED BY:	JM
DRAWN BY:	JM
CHECKED BY:	JM
DATE:	03-07-2022

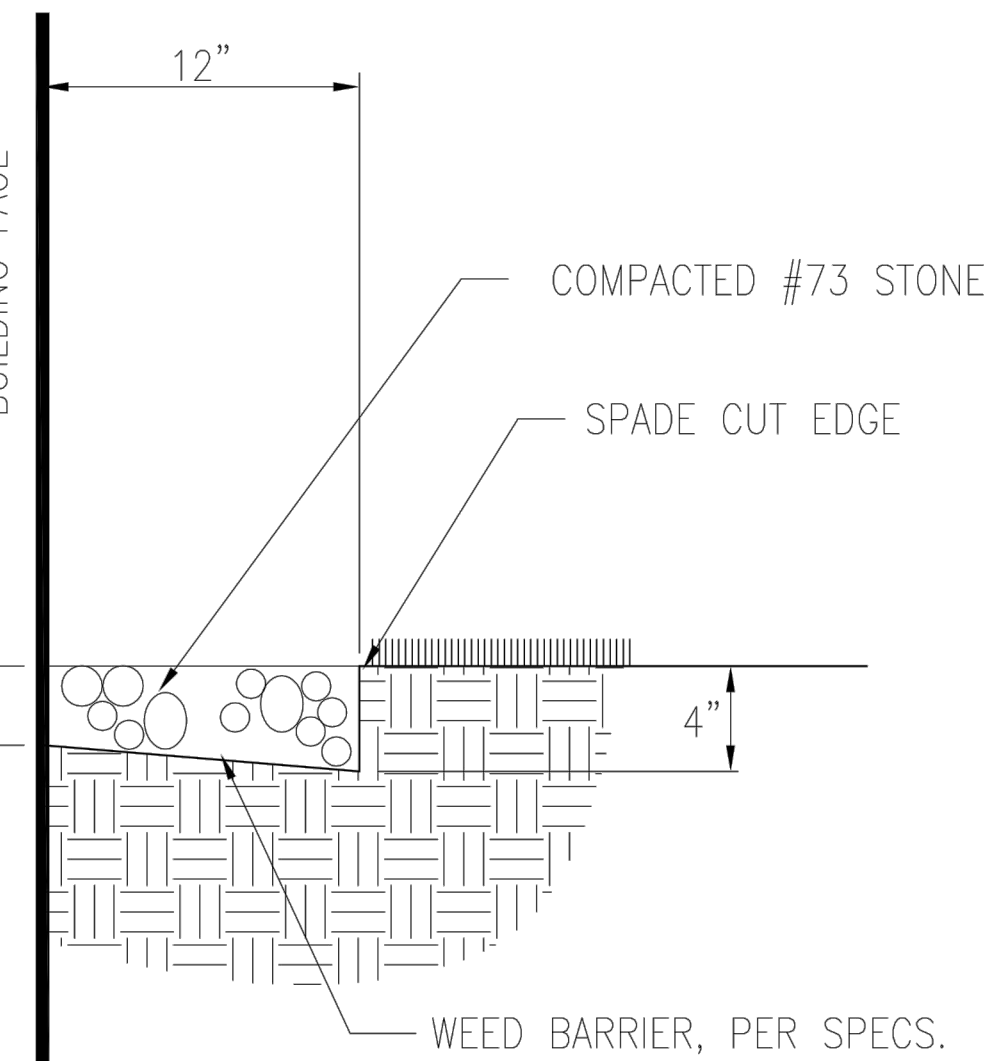
REVISIONS AND ISSUES

STEVEN SCOTT RUCKER P.E. 11300279

PREPARED FOR:  
**PROPOSED TACO BELL**  
- 2437 N LEBANON STREET, LEBANON, INDIANA  
**LANDSCAPE PLAN**  
SECTION 24, TOWNSHIP 19 NORTH, RANGE 1 WEST, CENTER TOWNSHIP, BOONE COUNTY, INDIANA

SHEET NO.  
**C6**  
PROJECT NO.  
W22.0092

LOCATION: W22.0092 Engineering Design/Consult W22.0092 C10 Landscape Del.dwg  
DATE/TIME: June 07, 2024 11:28am  
PLOTTER: HP DesignJet 5000PS



NOTE:  
GRAVEL MOW STRIP IS NOT REQUIRED WHERE  
PLANTING BEDS OR CONCRETE FLATWORK IS  
DIRECTLY ADJACENT TO BUILDING.

## GRAVEL MOWING STRIP

(NO SCALE)

## GENERAL NOTES

- IN CASE OF DISCREPANCIES BETWEEN THE PLAN AND THE PLANT LIST, THE PLAN SHALL DICTATE. IF IN QUESTION, CONTACT THE LANDSCAPE ARCHITECT.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ALL EXISTING UTILITIES PERTAINING TO THEIR PHASE OF WORK. UTILITIES ARE SHOWN TO BE APPROXIMATE. CALL UTILITY LOCATE PRIOR TO ANY PLACEMENT OF PLANT MATERIAL OR OTHER LANDSCAPE MATERIAL.
- THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS AND FEES THAT MAY BE REQUIRED FOR HIS PORTION OF WORK.
- ANY EXISTING TREE(S) AND/OR PLANTINGS THAT MAY REQUIRE REMOVAL BUT ARE NOT SHOWN ON THE PLAN AS BEING REMOVED SHALL BE PROTECTED AND BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT TO DETERMINE REMOVAL OR PLANTINGS SHOULD BE 1) REMOVED, 2) SAVED AND INTEGRATED INTO THE LANDSCAPE DESIGN, OR 3) RELOCATED.
- CONTRACTOR TO REVIEW THE SWPPP SERIES PLANS FOR STABILIZATION (SEEDING/SOD/MULCH) REQUIREMENTS.
- PLANTING BEDS AND PLANT MATERIAL SHALL BE LOCATED AS INDICATED ON LANDSCAPE PLAN. IN THE EVENT FIELD CHANGES OR CONDITIONS REQUIRE MODIFICATION TO THE LANDSCAPE DESIGN, THE CONTRACTOR SHALL CONSULT LANDSCAPE ARCHITECT AS TO PROPOSED MODIFICATIONS PRIOR TO PLANTING. THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO ADJUST PLANT LOCATIONS ON SITE IF NECESSARY.
- ALL PLANTS ARE TO MEET OR EXCEED AMERICAN STANDARDS FOR NURSERY STOCK, LATEST EDITION, AS SET FORTH BY AMERICAN ASSOCIATION OF NURSERYMEN.
- PLANTS SHALL BEAR A TAG SHOWING GENUS, SPECIES AND VARIETY. REMOVE AT TIME OF FINAL ACCEPTANCE.
- PLANTS SHALL BE CERTIFIED BY THE STATE OF INDIANA DEPARTMENT OF NATURAL RESOURCES AND FREE FROM DISEASE OR HAZARDOUS INSECTS.
- LANDSCAPE CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT IN WRITING PRIOR TO BID DATE OF ANY PLANTS THAT HE FEELS MAY NOT SURVIVE IN LOCATIONS NOTED.
- NO SUBSTITUTIONS OF PLANT MATERIAL WILL BE ALLOWED WITHOUT APPROVAL OF THE JURISDICTION HAVING AUTHORITY AND THE LANDSCAPE ARCHITECT. IF PLANTS ARE SHOWN TO BE UNAVAILABLE, THE CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT PRIOR TO BID DATE IN WRITING. THE CONTRACTOR SHALL COMPENSATE THE LANDSCAPE ARCHITECT FOR THE TIME REQUIRED FOR REVIEW AND INSPECTION OF PROPOSED PLANT SUBSTITUTIONS BID AWARD.
- ALL PLANT MATERIAL SHALL BE SPECIMEN QUALITY. SUBMIT COLOR PHOTOGRAPHS OF PROPOSED PLANT MATERIAL TAKEN IN THE NURSERY WHERE THEY ARE GROWING. THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO INSPECT PLANT MATERIALS AT NURSERY OR CONTRACTOR YARD PRIOR TO DELIVERY TO THE SITE. THE LANDSCAPE ARCHITECT MAY ALSO INSPECT AND APPROVE OR REJECT PLANT MATERIAL ON THE JOB SITE. IN THE EVENT PLANT MATERIAL IS NOT THE SPECIFIED SIZE OR QUALITY, PLANTS WILL BE REMOVED AND REPLACED AT THE CONTRACTORS EXPENSE.
- PLANTS AND OTHER LANDSCAPE MATERIALS TO BE STORED ON SITE WILL BE PLACED WHERE THEY WILL BE PROTECTED AND NOT CONFLICT WITH CONSTRUCTION OPERATIONS.
- COMPOST SHALL BE A WELL DECOMPOSED, STABLE, WEED FREE ORGANIC MATTER SOURCE. IT SHALL BE DERIVED FROM: AGRICULTURAL, FOOD, OR INDUSTRIAL RESIDUALS; BIOSOLIDS (TREATED SEWAGE SLUDGE); YARD TRIMMINGS; SOURCE SEPARATED OR MIXED SOLID WASTE. THE PRODUCT SHALL CONTAIN NO SUBSTANCES TOXIC TO PLANTS AND SHALL BE REASONABLY FREE (< 1% BY DRY WEIGHT) OF MAN-MADE FOREIGN MATTER. THE COMPOST WILL POSSESS NO OBJECTIONABLE ODORS AND SHALL NOT RESEMBLE THE RAW MATERIAL FROM WHICH IT WAS DERIVED.
- SHRUB AND PERENNIAL BEDS SHALL BE PREPARED BY PLACING 3" OF APPROVED COMPOST OVER PULVERIZED TOPSOIL AND ROTOTILLING TO A DEPTH OF 6".
- PRE-EMERGENT HERBICIDE SHALL BE APPLIED IN ALL PLANTING AND GROUND COVER BEDS PRIOR TO MULCHING AT RATES SPECIFIED BY MANUFACTURER FOR EACH VARIETY OF PLANT. PRE-EMERGENT HERBICIDE SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO APPLICATION.
- ALL TREE AND SHRUB PLANTING AREAS TO BE COVERED WITH 3" THICK LAYER OF SHREDDED HARDWOOD BARK MULCH. ALL GROUND COVER BEDS SHALL BE COVERED WITH 1" SHREDDED HARDWOOD BARK MULCH. BARK MULCH SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT AND SHALL BE UNIFORM IN TEXTURE AND COLOR AND SHALL BE FREE OF STICKS, LEAVES, SOIL AND FOREIGN MATERIAL. NO UTILITY MULCH OR PROCESSED TREE TRIMMINGS WILL BE ALLOWED.
- CONTRACTOR SHALL MAINTAIN ALL LAWN AREAS AND PLANT MATERIAL UNTIL ALL PUNCH LIST WORK HAS BEEN COMPLETED AND WRITTEN FINAL ACCEPTANCE BY THE LANDSCAPE ARCHITECT OR OWNER. MAINTENANCE SHALL BEGIN IMMEDIATELY AFTER EACH PLANT IS INSTALLED AND SHALL INCLUDE BUT NOT LIMITED TO: WATERING, WEEDING, PRUNING, DISEASE AND INSECT CONTROL, MOWING, RESETTING OF PLANTS TO PROPER GRADES OR UPRIGHT POSITION, AND ANY OTHER PROCEDURE CONSISTENT WITH GOOD HORTICULTURAL PRACTICES.
- ALL NEW LANDSCAPE PLANTINGS SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR FOLLOWING FINAL ACCEPTANCE AS DETERMINED BY LANDSCAPE ARCHITECT OR OWNER. AT THE END OF THIS PERIOD, PLANT MATERIAL DETERMINED TO BE DEAD OR UNSATISFACTORY BY LANDSCAPE ARCHITECT OR OWNER SHALL BE REPLACED AT NO ADDITIONAL CHARGE BY THE CONTRACTOR.

## SUN & SHADE SEED MIXTURE

APPLICATION RATE: 3-4 lb/1,000 sq. ft.

TURF-TYPE PERENNIAL RYEGRASS	34%
FINE FESCUE	33%
SHAMROCK KBG	33%

\*\*\*Sun & Shade Park Mix forms a durable turf for general use areas. Sun & Shade Park Mix will do well under a wide range of maintenance levels and can be established in full sun to partially shaded conditions. Sun & Shade Park Mix will provide turf with a fine texture, good mowing quality, and withstand moderate traffic. Sun & Shade Park Mix will establish quickly for maximum competition against annual weeds.\*\*\*

## PERMANENT SEEDING NOTES

### NOTES

- AN OAT OR WHEAT COMPANION OR NURSE CROP MAY BE USED WITH ANY OF THE ABOVE PERMANENT SEEDING MIXTURES, AT THE FOLLOWING RATES:
  - SPRING OATS - ONE-FOURTH TO THREE-FOURTHS BUSHEL PER ACRE
  - WHEAT - NO MORE THAN ONE-HALF BUSHEL PER ACRE
- A HIGH POTENTIAL FOR FERTILIZER, SEED, AND MULCH TO WASH EXISTS ON STEEP BANKS, CUTS, AND IN CHANNELS AND AREAS OF CONCENTRATED

### GRADOMG

- GRADE THE SITE TO ACHIEVE PROPOSED GRADES AND POSITIVE DRAINAGE. ADD TOPSOIL TO ACHIEVE NEEDED DEPTH FOR ESTABLISHMENT OF VEGETATION.

### SEEDBED PREPARATION

- TEST SOIL TO DETERMINE PH AND NUTRIENT LEVELS.
- APPLY SOIL AMENDMENTS AS RECOMMENDED BY THE SOIL TEST AND WORK INTO THE UPPER TWO TO FOUR INCHES OF SOIL. IF TESTING IS NOT DONE, APPLY 400 TO 600 POUNDS PER ACRE OF 12-12-12 ANALYSIS FERTILIZER, OR EQUIVALENT.
- TILL THE SOIL TO OBTAIN A UNIFORM SEEDBED. USE A DISK OR RAKE, OPERATED ACROSS THE SLOPE, TO WORK THE SOIL AMENDMENTS INTO THE UPPER TWO TO FOUR INCHES OF THE SOIL.

### SEEDING

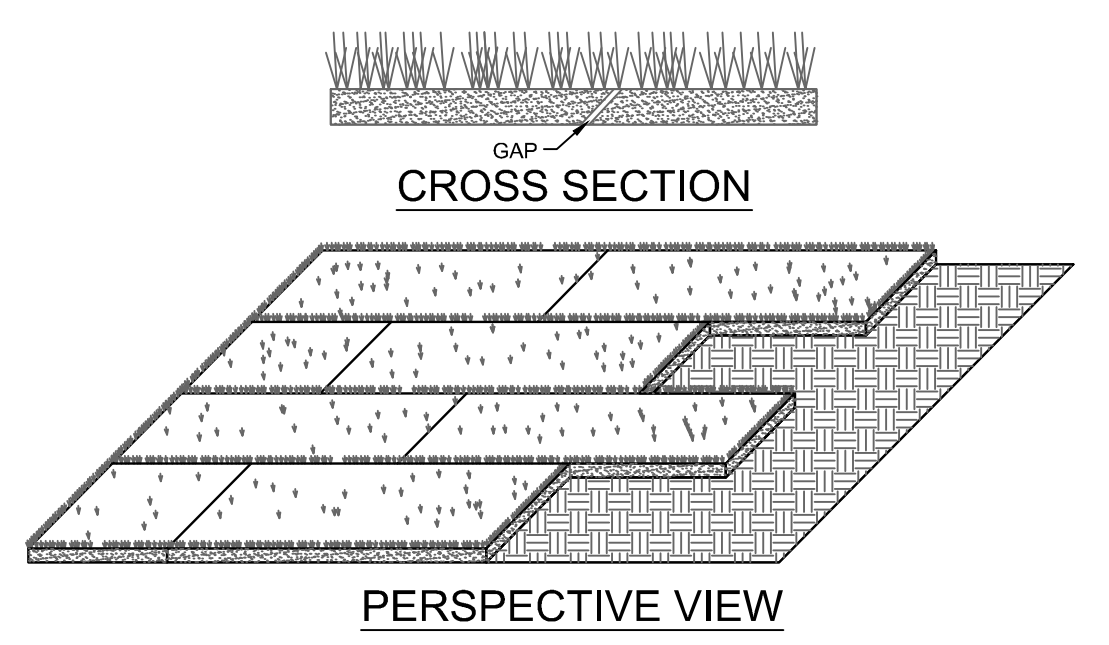
OPTIMUM SEEDING DATES: MARCH 1 TO MAY 10 OR AUGUST 10 TO SEPTEMBER 30

PERMANENT SEEDING DONE BETWEEN MAY 10 TO AUGUST 10 - SHALL BE IRRIGATED. SEEDING OUTSIDE OR BEYOND OPTIMUM SEEDING DATES IS STILL POSSIBLE WITH THE UNDERSTANDING THAT RESEEDING OR OVERSEEDING SHALL BE REQUIRED IF ADEQUATE SURFACE COVER IS NOT ACHIEVED. RESEEDING OR OVERSEEDING CAN BE EASILY ACCOMPLISHED IF THE SOIL SURFACE REMAINS WELL PROTECTED WITH MULCH.

- APPLY SEED UNIFORMLY WITH A DRILL OR CULTIPACKER SEEDER OR BY BROADCASTING. PLANT OR COVER THE SEED TO A DEPTH OF ONE-FOURTH TO ONE-HALF INCH. IF DRILLING OR BROADCASTING THE SEED, ENSURE GOOD SEED-TO-SOIL CONTACT BY FIRING THE SEEDBED WITH A ROLLER OR CULTIPACKER AFTER SEEDING OPERATIONS. IF SEEDING IS DONE WITH A HYDROSEEDER, FERTILIZER AND MULCH CAN BE APPLIED WITH THE SEED IN A SLURRY MIXTURE.)
- MULCH ALL SEEDBED AREAS AND USE APPROPRIATE METHODS TO ANCHOR THE MULCH IN PLACE. USE EROSION CONTROL BLANKETS ON SLOPING AREAS AND CONVEYANCE CHANNELS

### MAINTENANCE

- INSPECT WITHIN 24 HOURS OF EACH RAIN EVENT AND AT LEAST ONCE EVERY SEVEN CALENDAR DAYS UNTIL THE VEGETATION IS ESTABLISHED.
- CHARACTERISTICS OF A SUCCESSFUL STAND INCLUDE VIGOROUS DARK GREEN OR BLuishGREEN SEEDLINGS WITH A UNIFORM VEGETATIVE COVER DENSITY OF 90 PERCENT OR MORE.
- CHECK FOR EROSION OR MOVEMENT OF MULCH.
- REPAIR DAMAGED, BARE, GULLED, OR SPARSELY VEGETATED AREAS AND THEN FERTILIZE, RESEED, AND APPLY AND ANCHOR MULCH.
- IF PLANT COVER IS SPARSE OR PATCHY, EVALUATE THE PLANT MATERIALS CHOSEN, SOIL FERTILITY, MOISTURE CONVEYANCE, REPAIR AFFECTED AREAS EITHER BY OVERSEEDING OR PREPARING A NEW SEEDBED AND RESEEDING, APPLY AND ANCHOR MULCH ON THE NEWLY SEEDBED AREAS.
- IF VEGETATION FAILS TO GROW, TEST SOIL TO DETERMINE SOIL PH OR NUTRIENT DEFICIENCY PROBLEMS. (CONTACT AT YOUR SOIL AND WATER CONSERVATION DISTRICT OR COOPERATIVE EXTENSION OFFICE FOR ASSISTANCE.)
- IF ADDITIONAL FERTILIZATION OR SOIL AMENDMENTS ARE NEEDED TO GET A SATISFACTORY STAND, DO SO ACCORDING TO SOIL TEST RECOMMENDATIONS.
- ADD FERTILIZER THE FOLLOWING GROWING SEASON. FERTILIZE ACCORDING TO SOIL TEST RECOMMENDATIONS.
- FERTILIZE TURF AREAS ANNUALLY. APPLY FERTILIZER IN A SPLIT APPLICATION, FOR COOL SEASON GRASSES, APPLY ONE-HALF OF THE FERTILIZER IN LATE SPRING AND ONE-HALF IN EARLY FALL. FOR WARM-SEASON GRASSES, APPLY ONE-THIRD IN EARLY SPRING, ONE-THIRD IN LATE SPRING, AND THE REMAINING ONE-THIRD IN MIDDLE SUMMER.



## 1 SOD APPLICATION DETAIL

SCALE: N.T.S

## SOD NOTES

### SPECIFICATIONS

#### SITE PREPARATION

- GRADE THE SITE TO ACHIEVE POSITIVE DRAINAGE.
- PREPARE A SMOOTH, FIRM SOIL SURFACE AND APPLY SOIL AMENDMENTS. IRRIGATION IRRIGATE AS NEEDED TO ENSURE ROOTING OF SOD.

#### MATERIALS

- SOIL AMENDMENTS - SELECT MATERIALS AND RATES AS DETERMINED BY A SOIL TEST (CONTACT YOUR COUNTY SOIL AND WATER CONSERVATION DISTRICT OR COOPERATIVE EXTENSION OFFICE FOR ASSISTANCE AND SOIL INFORMATION, INCLUDING AVAILABLE SOIL TESTING SERVICES.) OR 400 TO 600 POUNDS OF 12-12-12 ANALYSIS FERTILIZER, OR EQUIVALENT.
- SOD - SELECT A HIGH QUALITY, HEALTHY, VIGOROUS VARIETY WELL ADAPTED TO THE REGION AND COMPATIBLE WITH THE INTENDED USE.

#### INSTALLATION

SOD SHOULD NOT BE INSTALLED DURING HOT WEATHER, ON DRY SOIL, FROZEN SOIL, COMPACTED CLAY, LOOSE SAND OR GRAVELLY SUBSTRATE SOILS, AGGREGATE, OR PESTICIDE TREATED SOIL. THE IDEAL TIME TO LAY SOD IS MAY 1 TO JUNE 1 OR SEPTEMBER 1 TO SEPTEMBER 30, ALTHOUGH IT CAN BE INSTALLED AS EARLY AS MARCH 15 IF AVAILABLE OR JUNE 1 TO SEPTEMBER 1 IF IRRIGATED.

#### SITE PREPARATION

- APPLY TOPSOIL IF EXISTING SOIL CONDITIONS ARE UNSUITABLE FOR ESTABLISHING VEGETATION.
- GRADE THE SITE TO ACHIEVE POSITIVE DRAINAGE AND CREATE A SMOOTH, FIRM SOIL SURFACE.
- WHERE APPLICABLE, USE A CHISEL PLOW, DISK, HARROW, OR RAKE TO BREAK UP COMPACTED SOILS AND CREATE A FAVORABLE ROOTING DEPTH OF SIX TO EIGHT INCHES.

#### SOD BED PREPARATION

- TEST SOIL TO DETERMINE PH AND NUTRIENT LEVELS.
- IF SOIL PH IS TOO ACIDIC FOR THE GRASS SOD TO BE INSTALLED, APPLY LIME ACCORDING TO SOIL TEST RESULTS OR AT THE RATE RECOMMENDED BY THE SOD SUPPLIER.
- APPLY FERTILIZER AS RECOMMENDED BY THE SOIL TEST. IF TESTING WAS NOT DONE, APPLY 400 TO 600 POUNDS PER ACRE OF 12-12-12 ANALYSIS FERTILIZER, OR EQUIVALENT.
- WORK THE SOIL AMENDMENTS INTO THE UPPER TWO TO FOUR INCHES OF SOIL WITH A DISK OR RAKE OPERATED ACROSS THE SLOPE.
- RAKE OR HARROW THE AREA TO ACHIEVE A SMOOTH FINAL GRADE AND THEN ROLL OR CULTIPACK THE SOIL SURFACE TO CREATE A FIRM SURFACE ON WHICH TO LAY THE SOD.

#### LAYING THE SOD

- INSTALL SOD WITHIN THIRTY-SIX HOURS OF ITS CUTTING.
- STORE THE SOD IN A SHADED LOCATION DURING INSTALLATION.
- IMMEDIATELY BEFORE LAYING THE SOD, RAKE THE SOIL SURFACE TO BREAK ANY CRUST. (IF THE WEATHER IS HOT, LIGHTLY IRRIGATE THE SOIL SURFACE PRIOR TO LAYING THE SOD.)
- LAY SOD STRIPS IN A BRICK-LIKE PATTERN.
- BUTT ALL JOINTS TIGHTLY AGAINST EACH OTHER (DO NOT STRETCH OR OVERLAP THEM), USING A KNIFE OR MASONS TROWEL TO TRIM AND FIT SOD INTO IRREGULARLY SHAPED AREAS.
- ROLL THE SOD LIGHTLY AFTER INSTALLATION TO ENSURE FIRM CONTACT BETWEEN THE SOD AND SOIL.
- IRRIGATE NEWLY SODDED AREAS UNTIL THE UNDERLYING SOIL IS WET TO A DEPTH OF FOUR INCHES, AND THEN KEEP MOIST UNTIL THE GRASS TAKES ROOT.

#### SLOPE APPLICATION

- INSTALL THE SOD STRIPS WITH THE LONGEST DIMENSION PERPENDICULAR TO THE SLOPE.
- WHERE SLOPES EXCEED A RATIO OF 3:1, STAPLE OR STAKE EACH STRIP AT THE CORNERS AND IN THE MIDDLE.

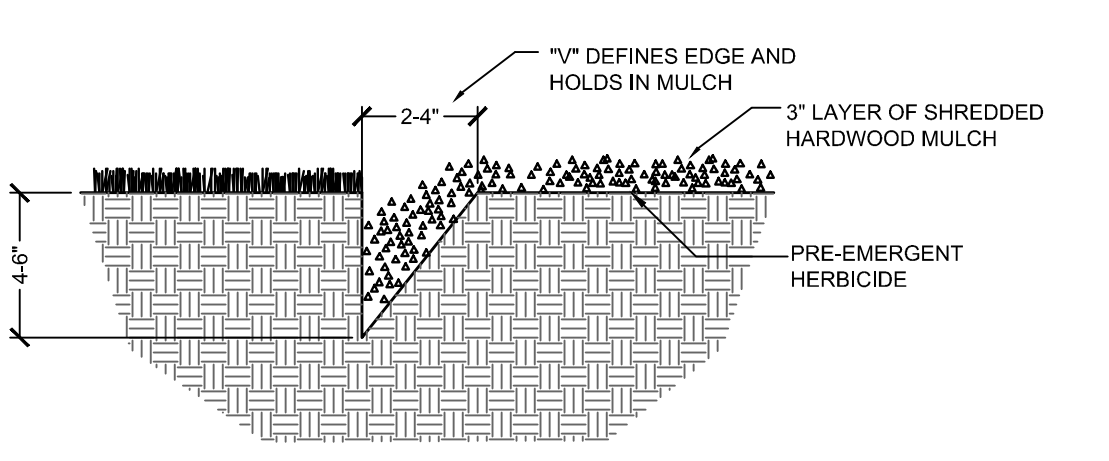
#### CHANNEL APPLICATION

- (SEEDING PROVIDES QUICKER PROTECTION THAN SEEDING AND MAY REDUCE THE RISK OF EARLY WASHOUT.)
- EXCAVATE THE CHANNEL, ALLOWING FOR THE FULL THICKNESS OF THE SOD.
- LAY THE SOD STRIPS WITH THE LONGEST DIMENSION PERPENDICULAR TO CHANNEL FLOW.
- STAPLE OR STAKE EACH STRIP OF SOD AT THE CORNERS AND IN THE MIDDLE.
- STAPLE JUTE OR BIODEGRADABLE POLYPROPYLENE NETTING OVER THE SODDED AREA TO MINIMIZE THE POTENTIAL FOR WASHOUT DURING ESTABLISHMENT.

#### MAINTENANCE

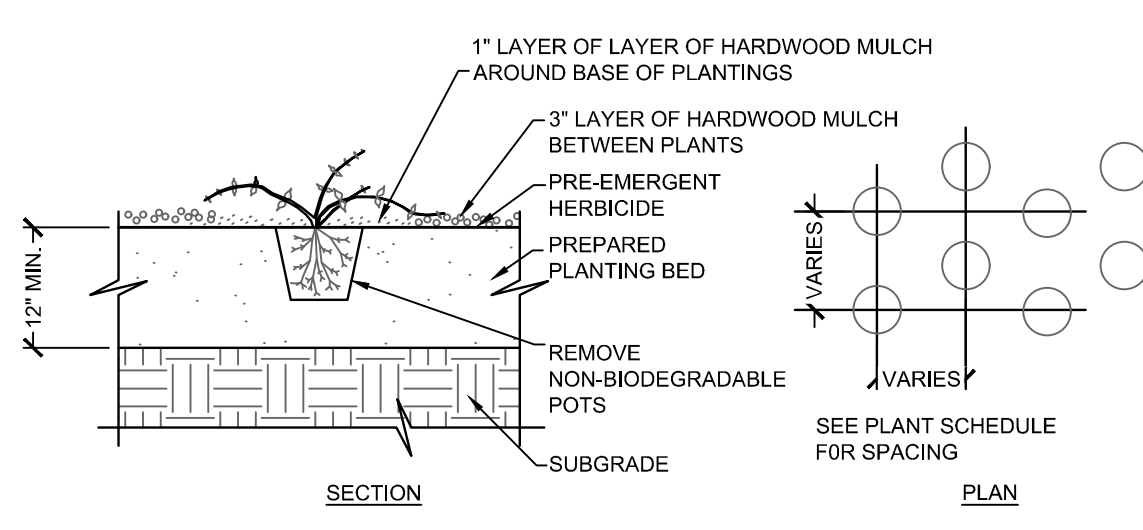
- INSPECT WITHIN 24 HOURS OF EACH RAIN EVENT AND AT LEAST ONCE EVERY SEVEN CALENDAR DAYS UNTIL SOD IS WELL ROOTED.
- KEEP SOD MOIST UNTIL FULLY ROOTED.
- AFTER SOD IS WELL-ROOTED (TWO TO THREE WEEKS), MAINTAIN A PLANT HEIGHT OF TWO TO THREE INCHES.
- TIME MOWING TO AVOID RUTS IN TURF.
- FERTILIZE TURF AREAS ANNUALLY. APPLY FERTILIZER IN A SPLIT APPLICATION. FOR COOL SEASON GRASSES, APPLY ONE-HALF OF THE FERTILIZER IN LATE SPRING AND ONE-HALF IN EARLY FALL. FOR WARM-SEASON GRASSES, APPLY ONE-THIRD IN EARLY SPRING, ONE-THIRD IN LATE SPRING AND ONE-THIRD IN MID-SUMMER.

REFERENCE IN CHAPTER 7 PAGES 47-50 IN THE INDIANA STORM WATER QUALITY MANUAL



## 2 V-CUT LANDSCAPE BED EDGE DETAIL

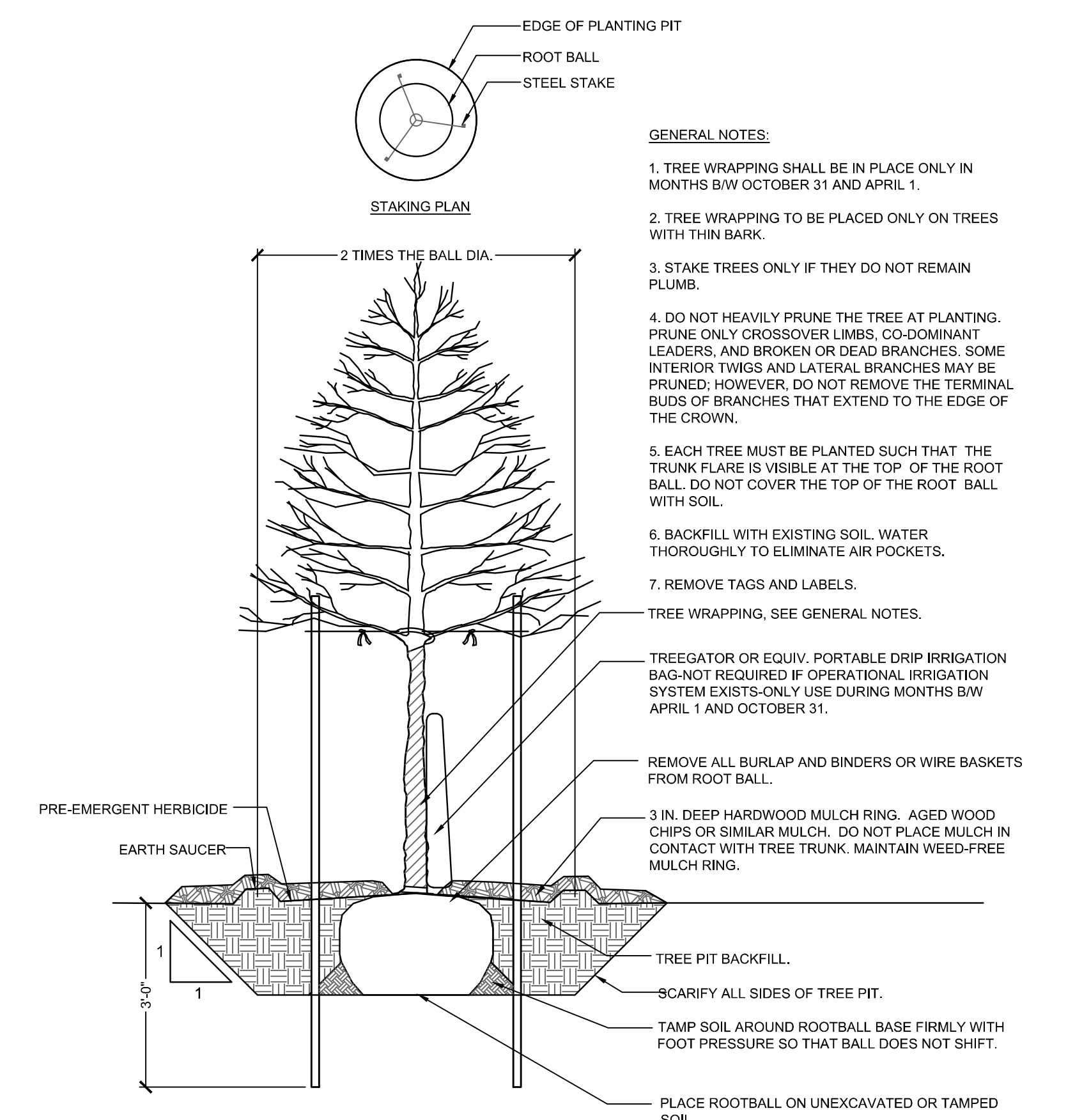
SCALE: N.T.S



SHRUB AND PERENNIAL BEDS SHALL BE PREPARED BY PLACING 3" OF APPROVED COMPOST OVER PULVERIZED TOPSOIL AND ROTOTILLING TO A DEPTH OF 6".

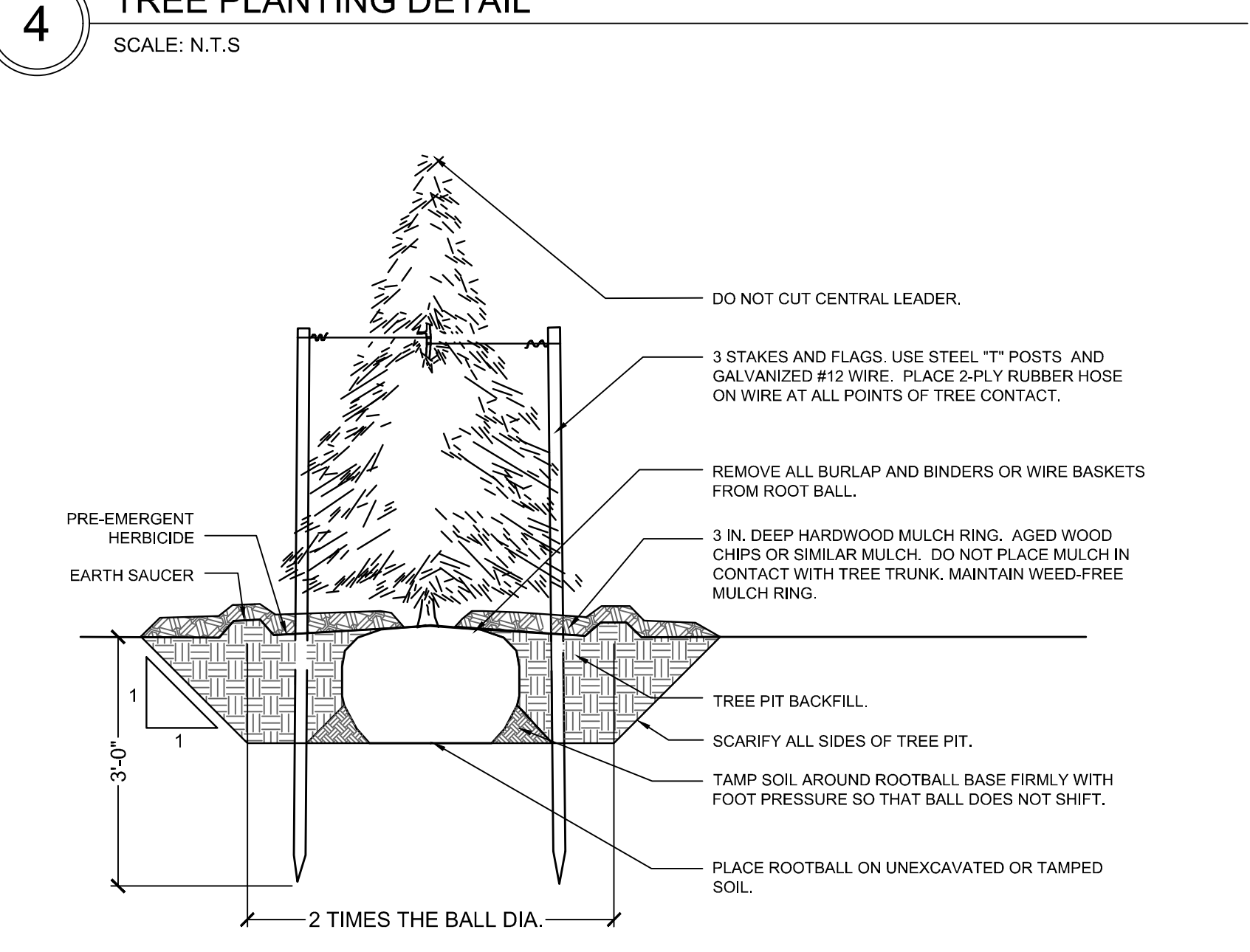
## 3 GROUNDCOVER PLANTING

SCALE: N.T.S



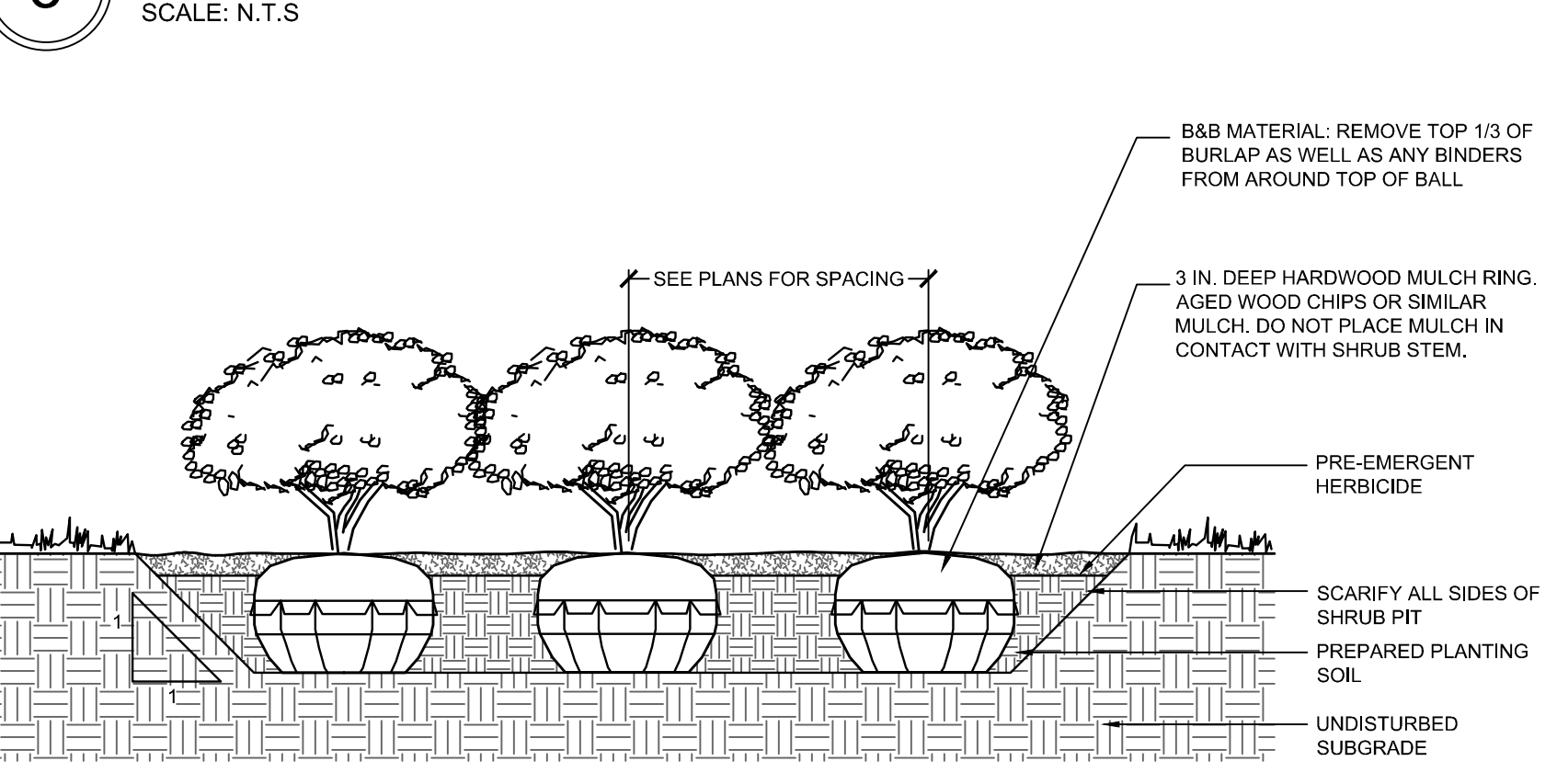
## 4 TREE PLANTING DETAIL

SCALE: N.T.S



## 5 EVERGREEN TREE PLANTING DETAIL

SCALE: N.T.S



## 6 SHRUB PLANTING DETAIL

SCALE: N.T.S

### GENERAL NOTES:

- TREE WRAPPING SHALL BE IN PLACE ONLY IN MONTHS B/W OCTOBER 31 AND APRIL 1.
- TREE WRAPPING TO BE PLACED ONLY ON TREES WITH THIN BARK.
- STAKE TREES ONLY IF THEY DO NOT REMAIN PLUMB.
- DO NOT HEAVILY PRUNE THE TREE AT PLANTING. PRUNE ONLY CROSSOVER LIMBS, CO-DOMINANT LEADERS, AND BROKEN OR DEAD BRANCHES. SOME INTERIOR TWIGS AND LATERAL BRANCHES MAY BE PRUNED; HOWEVER, DO NOT REMOVE THE TERMINAL BUDS OF BRANCHES THAT EXTEND TO THE EDGE OF THE CROWN.
- EACH TREE MUST BE PLANTED SUCH THAT THE TRUNK FLARE IS VISIBLE AT THE TOP OF THE ROOT BALL. DO NOT COVER THE TOP OF THE ROOT BALL WITH SOIL.
- BACKFILL WITH EXISTING SOIL. WATER THOROUGHLY TO ELIMINATE AIR POCKETS.
- REMOVE TAGS AND LABELS.
- TREE WRAPPING, SEE GENERAL NOTES.
- TREEGATOR OR EQUIV. PORTABLE DRIP IRRIGATION BAG-NOT REQUIRED IF OPERATIONAL IRRIGATION SYSTEM EXISTS-ONLY USE DURING MONTHS B/W APRIL 1 AND OCTOBER 31.
- REMOVE ALL BURLAP AND BINDERS OR WIRE BASKETS FROM ROOT BALL.
- 3 IN. DEEP HARDWOOD MULCH RING. AGED WOOD CHIPS OR SIMILAR MULCH. DO NOT PLACE MULCH IN CONTACT WITH TREE TRUNK. MAINTAIN WEED-FREE MULCH RING.
- SCARIFY ALL SIDES OF TREE PIT.
- TAMP SOIL AROUND ROOTBALL BASE FIRMLY WITH FOOT PRESSURE SO THAT BALL DOES NOT SHIFT.
- PLACE ROOTBALL ON UNEXCAVATED OR TAMPED SOIL.

10505 N. College Avenue  
Indianapolis, Indiana 46280  
weihe.net  
317 | 846 - 6611  
800 | 452 - 6408  
317 | 843 - 0546 fax  
ALLAN H. WEIHE, P.E., L.S. - FOUNDER

**WEIHE ENGINEERS**  
Land Surveying | Civil Engineering  
Landscape Architecture  
*Build with confidence.*

PROJECT NO.: W22.0092  
DWG NAME: W220092 C10 Landscape DH  
DESIGNED BY: JAM  
DRAWN BY: JAM  
CHECKED BY: BT  
DATE: 05-07-2022

REVISIONS AND ISSUES

DATE	BY	REVISIONS AND ISSUES

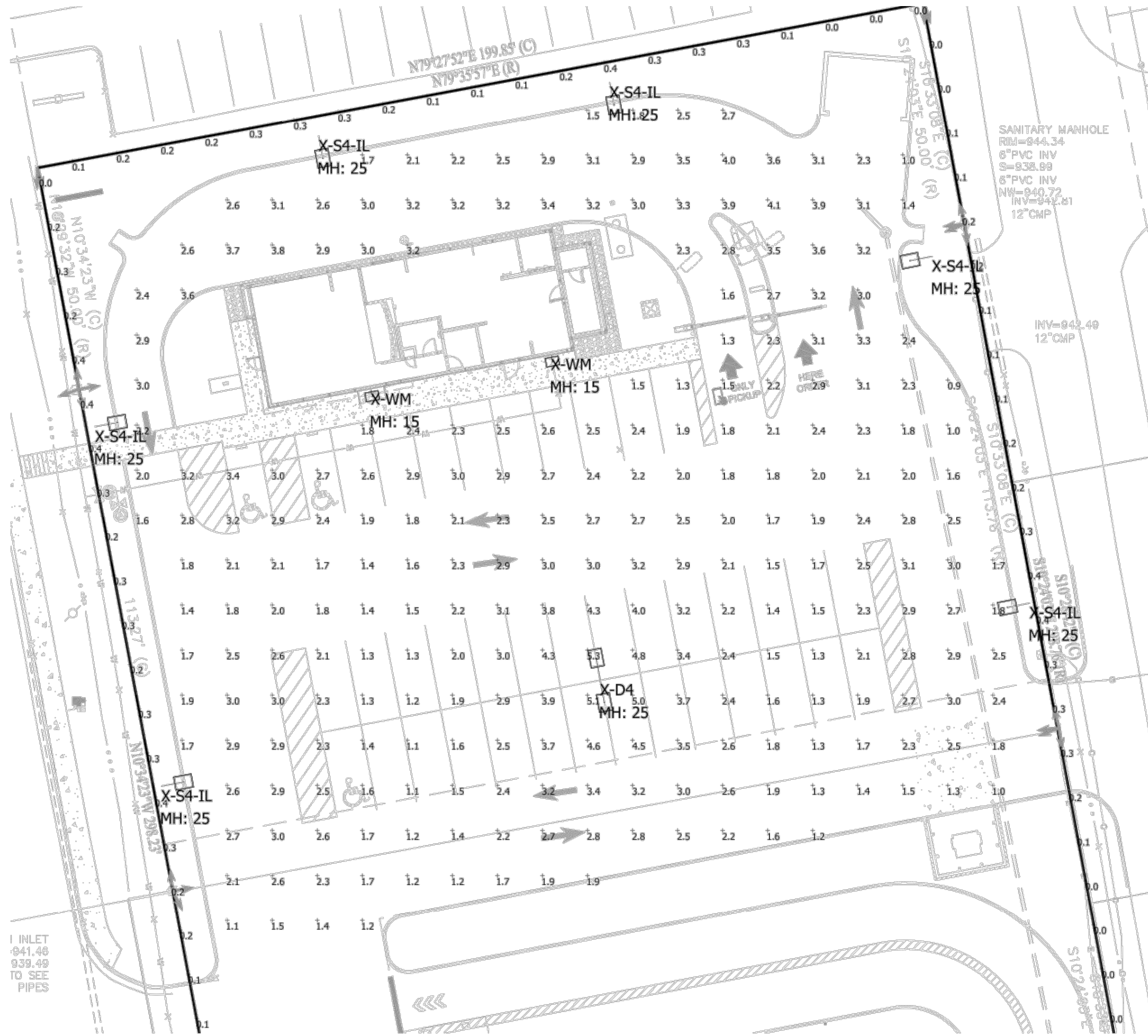
REGISTERED PROFESSIONAL ENGINEER  
STATE OF INDIANA  
PE 1260279  
NOTARY PUBLIC  
STEPHEN SCOTT TUCKER  
000001090279



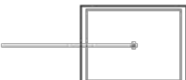
STANDARD & CARTER, INC. 000001090279

PROPOSED TACO BELL  
- 2437 N LEBANON STREET, LEBANON, INDIANA  
LANDSCAPE DETAILS  
SECTION 24, TOWNSHIP 18 NORTH, RANGE 1 WEST, CENTER TOWNSHIP, BOONE COUNTY, INDIANA

PREPARED FOR:  
SHEET NO.  
PROJECT NO.  
W22.0092

C6.1



Luminaire Schedule							
Symbol	Qty	Label	Arrangement	Lum. Lumens	LLF	Lum. Watts	Description
	2	X-WM	Wall Mount	3081	0.900	22.6	XWM-3-LED-03L-50
	1	X-D4	Back-Back	14612	0.900	111	MRS-LED-15L-SIL-FT-50-70CRI
	6	X-S4-IL	Single	9457	0.900	111	MRS-LED-15L-SIL-FT-50-70CRI-IL

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
_Property Line	Illuminance	Fc	0.12	0.4	0.0	N.A.	N.A.
Paved Areas & Drives	Illuminance	Fc	2.44	5.3	0.9	2.71	5.89

LIGHTING NOTES:

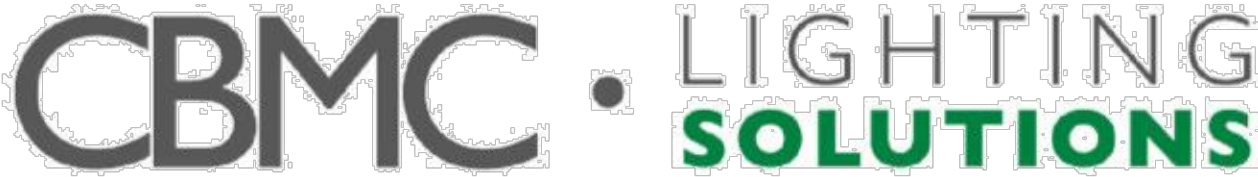
- Mounting Height = 25'
- Light Loss Factor = 0.90
- Footcandle Values Calculated @ Grade
- Reflectance Values - 80/50/20 (office spaces)  
50/30/20 (warehouse areas)

National Lighting Vendor:

For pricing and technical assistance contact:  
Russ Miller of CBMC INC, tel# 317-697-7510,  
rmiller@cbmcinc.com

All electrical work shall comply with National, State, and Local codes including and not limited to the National Electric Code, NFPA 101 Life Safety Code, ASHREA and /or IECC Energy Codes.

The information contained in this document is proprietary to CBMC Lighting Solutions. This document is prepared for a specific site and incorporates calculations based on data available from the client at this time. By accepting and using this document, the recipient agrees to protect its contents from further dissemination, [other than that within the organization necessary to evaluate such specification] without the written permission of CBMC Lighting Solutions. the contents of this document are not to be reproduced or copied in whole or in part without the written permission of CBMC Lighting Solutions. copyright © 2018 CBMC Lighting Solutions all rights reserved.



5855 KOPETSKY DR. SUITE G. | INDIANAPOLIS, IN 46217  
317-780-8350| WWW.CBMCINC.COM

SEE MORE



This lighting pattern represents illumination levels calculated from laboratory data taken under controlled conditions in accordance with IESNA approved methods. Actual performance of any manufacturer's luminaire may vary due to variation in electrical voltage, tolerance in lamps and LED lumen package, location adjustments, and other variable field conditions.

Contractor to check and verify all dimensions on site before commencing any work shown.

Taco Bell Lebanon

C7 SITE LAYOUT

Scale:	1" = 20'	Drawing No:	LP1
Date:	3/18/22	Project No:	
Drawn By:	SJM		

CB20417-SITE

LIGHTING PLAN